



KENSINGTON FIRE PROTECTION DISTRICT

DATE: May 11, 2022

TO: Board of Directors
Kensington Fire Protection District

RE: **Agenda Item 5b**
Public Safety Building Renovation and Temporary Facilities –
Progress Update

SUBMITTED BY: Bill Hansell, General Manager

Recommended Action

Accept Report. Discuss and Direct Staff as needed.

Update

Work on the PSB Renovation and the Temporary Facility has been a focus of management time over the last month. Highlights are noted below:

1. Public Safety Building Renovation –

- a. **Review of the Space Needs For Fire and Police in the Renovated PSB –** Attached is a Feb 9th, 2022 letter to Lin Due, Kensington Outlook editor, in response to an information request on the available space within the PSB once the seismic renovation is complete. As noted, this topic was covered in the 2019 community forum and again at the 2021 joint board meeting, but it is provided here given the renewed public questions on the topic. Existing and New Plan diagrams are included along with area calcs illustrating why the building is unable to accommodate both the Fire and Police staff and equipment.
- b. **CC County Building Department Building Permit Submittal –** The building permit drawings were submitted to the County on April 21st, and are being reviewed for compliance.
- c. **PSB Renovation Construction Schedule –** Key targets and approvals are noted in the schedule below.

2. Temporary Facilities Update –

- a. **Site Planning and Design Revisions –** The architect/engineering team continue to refine the site plan in preparation for the issuance of bid documents, as needed.
- b. **Parking Lot Lease Terms –** A lease proposal is being reviewed by counsel and will be presented to the Board for consideration. The lease will be contingent upon acquisition of a Temporary Use Permit as submitted by the district to the EI

Cerrito Planning Department on 05/06/2022.

- c. **Sub-lease with KPPCSD for City of El Cerrito Modulars** – A sub-lease will be presented for consideration as soon as the KPPCSD completes its agreements with the City of El Cerrito and the modular vendor.
- d. **Temp Facility Schedule** – See below.

SCHEDULE UPDATE

KFPD PSB RENOVATION & TEMP FACILITY

05/06/2022 = Submit Temp Facility Planning Application (COMPLETE)
05/16/2022 = Issue Temp Facility Site Work Bid Documents
05/30/2022 = Issue PSB Renovation Bid Documents
06/15/2022 = Temp Facility Temporary Use Permit Hearing
06/15/2022 = Building Permit Approval (Pending County Review Schedule)
06/23/2022 = Temp Facility Site Work Bid Award
06/29/2022 = PSB Renovation Bids Due
07/04/2022 = Temp Facility Site Work Start Date
07/13/2022 = PSB Renovation Bid Award (Note: Date of Bond Approval unless obtained earlier)
10/03/2022 = Temp Facility Site Move-in Date
10/10/2022 = PSB Renovation Construction Start Date
03/29/2024 = PSB Renovation Construction Complete (Note: Assumes 18mos schedule)
04/05/2024 = Temp Facility Decommissioned / Parking Lot Restoration

The next general update will be presented at the June 8, 2022 Board of Directors meeting. Please note that since the April meeting, the following documents have been added to the PSB Renovation page at: <https://www.kensingtonfire.org/public-safety-building>

- *Apr 11, 2022 ZFA Engineers Structural Risk Assessment*
- *Apr 13, 2022 PSB Renovation Progress Update*



Board of Directors
Larry Nagel (President)
Kevin Padian (Vice President)
Don Dommer
Janice Kosel
Julie Stein

February 9, 2022

Lin Due
Kensington Outlook

Dear Lin,

I am responding to the question you asked by email: *“Is there a reason why the code OKs a large meeting room and five offices but cannot hold the police? If it is true that codes and regulations forbid the police from occupying the building that should be the end of it. Can Bill illuminate this issue?”*

My general response as to why the renovated PSB cannot fit both the Fire and Police personnel is to refer to many past presentations on that issue which articulated both the impact of the seismic renovation and other code triggers, as well as inadequacies for both departments identified as long ago as 1997 when the Chiefs’ Needs Assessment was presented. More recently, there were presentations starting in 2015 that referenced the issue, culminating in the [09/11/2019 KFPD board meeting](#) and [11/16/2019 Community Forum](#) that showed space-use diagrams and professional standards for both Fire and Police. The latter presentation included a slide that distilled it all: *“A ten pound problem in a five pound bag.”* After architectural studies in 2020 failed to reveal a different conclusion, the GMs and Chiefs presented info to both boards from January thru March 2021 that backed up that realization. This included the 03/11/2021 presentation by the KPPCSD GM and Police Chief with details on their space needs, which ranged from a minimum of +/-2,600sf to an optimal +/-4,000sf. The space needs of the Fire Department had been previously identified as a minimum of +/-6,500sf to an optimal of +/-8,000sf. That is a combined total range of 9,000sf to 12,000sf, so even with further efficiencies it is nowhere near the existing 6,133sf gross building area.

All of the background documents substantiating this are available on our website at: <https://www.kensingtonfire.org/public-safety-building>.

We also addressed the topic comprehensively in our FAQ, which I have attached, but can also be found at: https://www.kensingtonfire.org/files/22955f827/20211110_07b+PSB+Report+Fact+Sheet.pdf

In an attempt to further explain the issue, I have highlighted and noted the most recent *“PSB Construction Document Net Area Calcs”* list, attached. This shows the existing and new areas side-by-side. It notes all of the new areas that are affected by the current building code requirements, which we have no control over. To further assist in understanding the limitations, I have included current space diagrams (existing and new) with references back to the Area Calc list. I have also highlighted items such as the meeting room, which is changing from +/-17’x16’ to +/-15’x26’ and is by no means excessively large. It is also not the source of the occupancy problem, as you can see by the scale of the problem.

In brief, after all the code requirements are addressed, there is only 887sf net on the ground floor (indicated in purple on sheet A202), which could be considered in lieu of what the Police Depts current uses, which is 1,398sf net. Even if that were occupied by the Police Dept, the Fire Dept would then have to lease a similar amount of space elsewhere, which would come at additional rental cost and inefficiency by separating admin and records from the rest of the fire staff.

Therefore, the current plans show that the problem has not changed since it was identified years ago. Even with full occupancy of the building with a gross area of 6,133sf, the Fire Department is still 367sf smaller than the "Reduced Area" recommendation, and 1,867sf smaller than the Optimal size. Per the KPPCSD's own studies, the 887sf net remaining area I referred to above is 511sf short (63%) of what the Police currently use, and 1,713sf short of their stated absolute minimum of 2,600sf.

I hope this helps clarify the space challenges of the building renovation to date, and why the options have been extremely limited. Please let me know if you have any further questions.

Sincerely,

A handwritten signature in black ink that reads "Bill Hansell". The signature is written in a cursive, flowing style.

Bill Hansell
General Manager



Kensington Fire Protection District

Public Safety Building Construction Documents Net Area Calcs

EXISTING ROOM	EXISTING (Net SF)
First Floor	
Garage (3 Bay)	1467
Entry	46
Hall/Files/Print	234 (Police)
Staff	56
-	
-	
Hall 2	98 (Police)
Office 1	116 (Police)
Office 2	89 (Police)
Office 3	73 (Police)
Office 4	73 (Police)
Office 5	96 (Police)
Meeting	274 (1/2 Police)
Restroom	66
Storage	46
Compressor	20
Apparatus Closet	6
Police 1st FI Net = 972sf	2760

Second Floor	
Radio	62
-	
IT/Elec/Gym	188
Office 1	67
Office 2	89
Office 3	212 (Police)
Office 4	99 (Police)
Kitchen/Dining	403
Dayroom	302
Hall 1	77
-	
Hall 2	113
Dorm 1	102
Dorm 2	175
Dorm 3	217
Bath 1	65
Bath 2	49

PROPOSED ROOM	PROPOSED (Net SF)
First Floor	
101 Apparatus Bay (3 Bay)	1450
105 Lobby	118 (Re: Code)
106 Hall 1	89 (Re: Code)
107 Staff (Security receipt for lobby)	167
109 EMR (Elev Machine Rm)	50
110 Administration	248
- (Includes 2 desks, Servers, Printers, Secure Files, and Public Records ;	
- Currently, not accommodated in the PSB. Servers, files, & desks are in the exist mtg room)	
111 Meeting (Avg 15'x26' room)	398
112 ADA Restroom	54 (Re: Code)
113 Storage (Tables/Chairs for DOC)	74
102 Compressor	20
Net KFPD Admin & Mtg from above = 887sf	2668

Second Floor	
201 (E) Radio	62
202 (E) Storage	85
203 (E) IT/ELEC (Gym equip removed)	131 (Re: Code)
204 Office 1 (Former deck)	127 (New)
205 Captain's Office (Former deck)	127 (New)
-	
-	
206 Kitchen/Dining	550 (Re: Code)
207 Dayroom (This includes work area)	461
208 Hall 2	185 (Re: Code)
209 Exercise (Relocated from IT/Elec)	284 (Re: Code)
211 Hall 3	120 (Re: Code)
212 Dorm 1	152 (Re: Code)
213 Dorm 2	152 (Re: Code)
214 Dorm 3	152 (Re: Code)
217 Bath 1	63 (Re: Code)
216 Bath 2 (ADA)	69 (Re: Code)



Kensington Fire Protection District

EXISTING ROOM	EXISTING (Net SF)
Toilet	24
Toilet	24
Laundry	85
Locker Room	50 (Police)
Locker Room	65 (Police)
Mechanical	68
Police 2nd FI Net = 426sf	2536

Vertical Circulation	
-	
Stair Shaft	93
	93

EXISTING TOTAL AREA (Net SF)	
	5389

PROPOSED ROOM	PROPOSED (Net SF)
-	
-	
215 Laundry	54 (Re: Code)
-	
-	
218 Storage	36
	2810

Vertical Circulation	
Elevator Shaft	52 (Re: Code)
Stair Shaft	133 (Re: Code)
	185

PROPOSED TOTAL AREA (Net SF)	
	5663

Total Police Exist Net Area = 1,398sf

Note:

In the renovated building the equivalent available area would be 750sf, per the note to the right.

The 03/11/2021 "KPPCSD Space Needs Analysis" states that the KPPCSD requires:

- Optimal (Net Use + Circulation, Mech) = +/-4,000sf
- Reduced (Net Use + Circulation, Mech) = +/-3,000sf
- Optimal w/Cuts = +/-2,600sf

Note:

Even with the minimal "Optimal w/Cuts" option at 2,600sf, the renovated available space of 750sf would be deficient by 1,850sf

Discretionary Area Added from prior Police Use = 750sf

Note: The above is so low because code requirements use up 648sf.

New Net Area Added by Deck Enclosure = 254sf

Note: This new area can only be accessed by Fire.

Total Net Area Added For KFPD Use = 1,288sf

"Re: Code" indicates areas guided by building code requirements and/or other regulations.

Fire Dept Space Needs from 09/11/2019 KFPD board mtg & 11/16/2019 public mtg:

Optimal (Net Use + Circulation, Mech) = +/-8,000sf

Reduced (Net Use + Circulation, Mech) = +/-6,500sf

Note: Even with Fire Dept-Only occupancy, the Gross Building Area at 6,133sf is 367sf smaller than the "Reduced" recommendation and 1,867sf smaller than the "Optimal" recommendation.

STAMP



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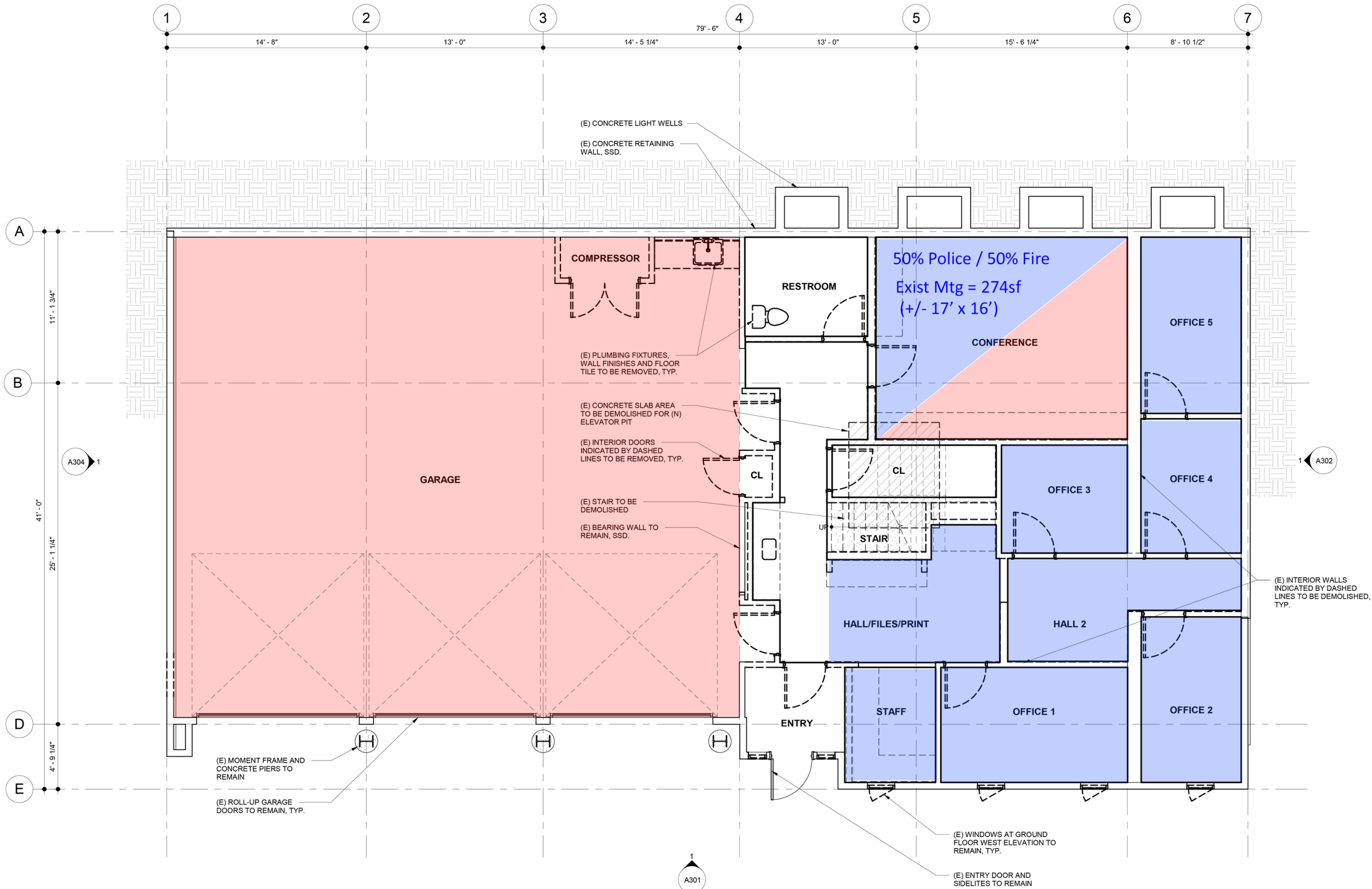
NO.	DESCRIPTION	DATE
1	PRELIMINARY SCHEMATIC PRICING SET	09/27/2021
2	PLANNING SUBMITTAL	11/01/2021

JOB NO.
0000 KENSINGTON PUBLIC SAFETY BUILDING

DESCRIPTION
EXISTING AND DEMOLITION GROUND FLOOR PLAN



A201



1 EXISTING (DEMOLITION) 1ST LEVEL PLAN
SCALE: 1/4" = 1'-0"

Police 1st FI Net Area = 972sf (Re: Plan above)
Police 2nd FI Net Area = 426sf (Re: A203)
Total Exist Police Net Area = 1,398sf

Note:
"KPPCSD Police Space Needs Analysis" (03/11/2021):
Optimal (Net Use + Circulation, Mech) = +/-4,000sf
Reduced (Net Use + Circulation, Mech) = +/-3,000sf
Optimal w/Cuts = +/-2,600sf

WALL LEGEND

	EXISTING WALL
	EXISTING WALL TO BE DEMOLISHED
	PROPOSED WALL
	PROPOSED 1-HR RATED WALL
	PROPOSED 1/2-HR RATED WALL
	AREA TO BE DEMOLISHED

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SHEET NOTES

- DIMENSIONS ARE TAKEN FROM GRIDLINE TO FACE OF STUD. DIMENSIONS NOTED WITH CLR. ARE FROM FACE OF FINISH TO FACE OF FINISH.
- FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE. SEE FF&E PLAN AND SPECIFICATIONS
- SEE RCP ON SHEET A205 AND A206
- SEE ROOF PLAN ON SHEET A208
- SEE WALL TYPES ON SHEET A901
- FOR EXTERIOR WALL ASSEMBLIES/TYPES, SEE DETAIL CALLOUTS ON EXTERIOR ELEVATIONS
- PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND WALL MOUNTED ACCESSORIES INCLUDING BATHROOM FIXTURES, SEE DETAIL XIA9XX
- PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED CBC HEIGHT LIMITATIONS.
- ALL WALL FRAMING TO EXTEND TO BOTTOM OF FLOOR FRAMING OR ROOF FRAMING, U.O.N.

KEYNOTES

- 02 41 00.E4 (E) SECTIONAL DOORS TO REMAIN
- 02 41 00.E16 (E) COMPRESSOR AND CLOSET TO REMAIN. REPLACE (E) DOOR
- 03 30 00.A CONCRETE APP BAY FLOOR, SLOPE TO DRAINS. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION
- 06 41 00.A BASE CABINETS, DOORS, DRAWERS, AND ADJUSTABLE SHELVES
- 06 41 00.B UPPER CABINETS, DOORS, AND ADJUSTABLE SHELVES
- 06 41 00.C FULL HEIGHT CABINETS, LOCKABLE DOORS AND ADJUSTABLE SHELVES
- 06 43 00.A (N) WOOD FRAMED STAIR
- 12 36 16.A METAL COUNTERTOPS
- 14 24 00.A1 HYDRAULIC ELEVATOR
- 22 42 16.C DECON SERVICE SINK WITH INTEGRAL WORKTABLE, SEE PLUMBING DRAWINGS
- 22 45 16.A SAFETY SHOWER AND EYEWASH, SEE PLUMBING DRAWINGS

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- PROPOSED WALL
- 1-HR RATED WALL
- 1/2-HR RATED WALL
- FLOOR AREA TO BE REMOVED

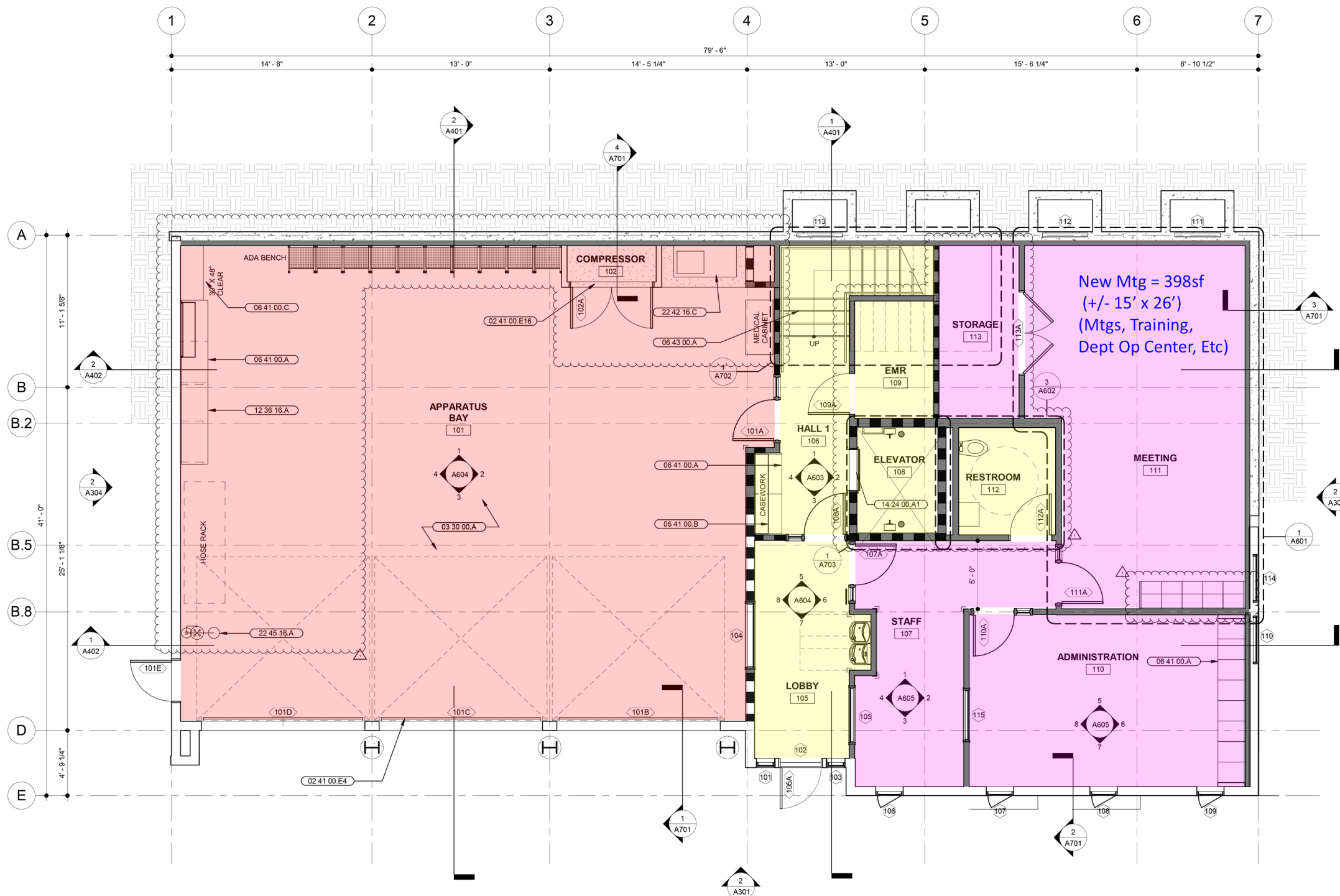
NO.	DESCRIPTION	DATE
1	PRELIMINARY SCHEMATIC PRICING SET	09/27/2021
2	PLANNING SUBMITTAL	11/01/2021
3	50% DESIGN DEVELOPMENT	11/19/2021
4	100% DESIGN DEVELOPMENT	12/17/2021
5	PLANNING SUBMITTAL R1	01/06/2022

JOB NO.
 0000 KENSINGTON FIRE PROTECTION DISTRICT
 PUBLIC SAFETY BUILDING

DESCRIPTION
 PROPOSED GROUND FLOOR PLAN



A202



New Mtg = 398sf
 (+/- 15' x 26')
 (Mtgs, Training,
 Dept Op Center, Etc)

Indicates areas guided by building code requirements and/or other regulations.

“Fire Dept Space Needs” from 09/11/2019 KFPD board mtg & 11/16/2019 public mtg:
 Optimal (Net Use + Circulation, Mech) = +/-8,000sf
 Reduced (Net Use + Circulation, Mech) = +/-6,500sf

New Fire Dept-Only occupancy as shown = 5,663sf Net

Indicates area for Fire Admin/Public Records/Computers/Etc including Meeting Rm used for training and emergency Dept Operations Center (DOC) = 887sf

1 PROPOSED 1ST LEVEL PLAN
 SCALE: 1/4" = 1'-0"

STAMP



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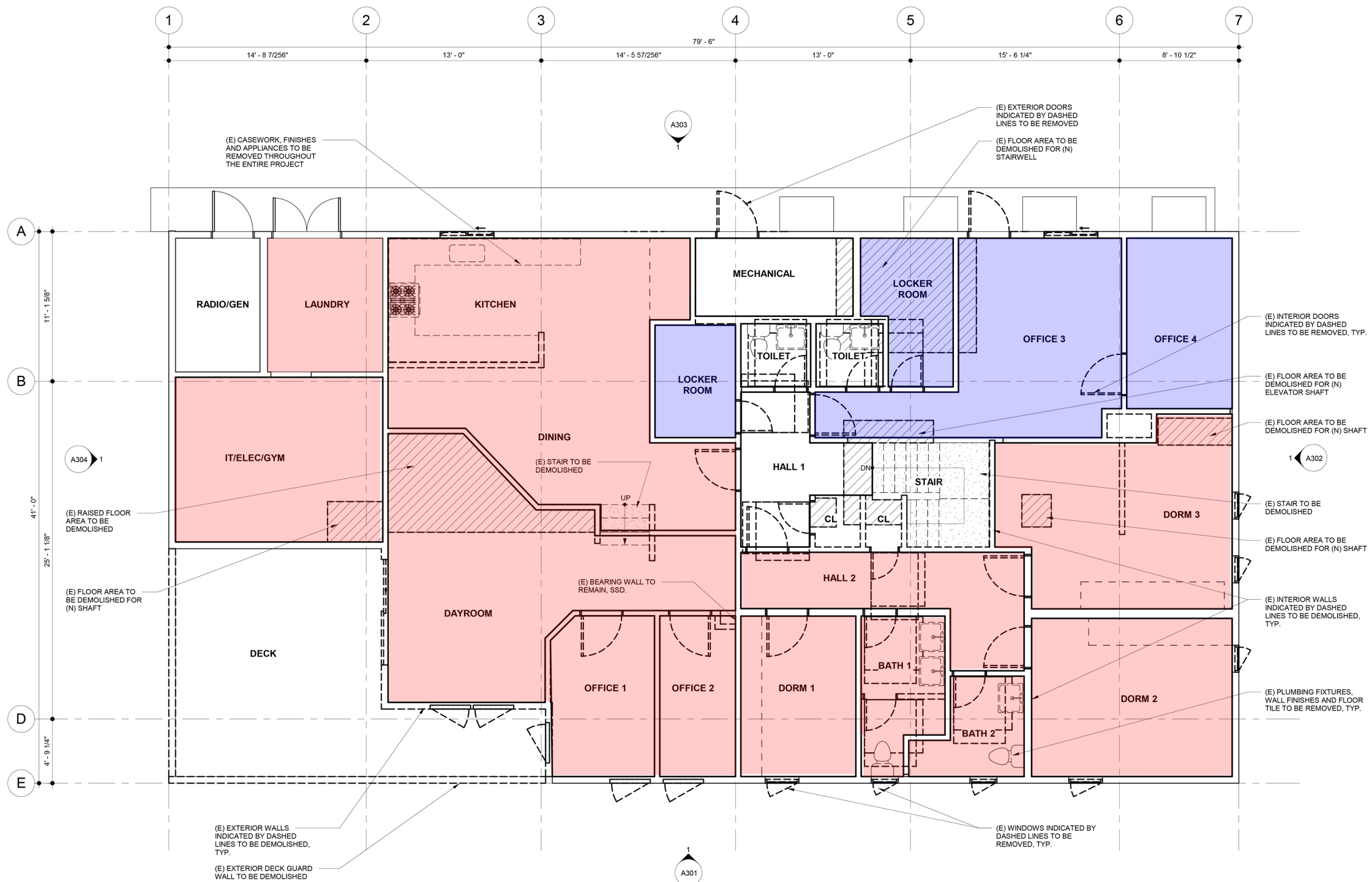
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JOB NO.
0000 KENSINGTON PUBLIC SAFETY
BUILDING

DESCRIPTION
EXISTING AND DEMOLITION SECOND
FLOOR PLAN

A203



Police 1st Fl Net Area = 972sf (Re: A201)
Police 2nd Fl Net Area = 426sf (Re: Plan above)
Total Exist Police Net Area = 1,398sf

Note:
"KPPCSD Police Space Needs Analysis" (03/11/2021):
Optimal (Net Use + Circulation, Mech) = +/-4,000sf
Reduced (Net Use + Circulation, Mech) = +/-3,000sf
Optimal w/Cuts = +/-2,600sf

WALL LEGEND

— EXISTING WALL

- - - EXISTING WALL TO BE DEMOLISHED

— PROPOSED WALL

— PROPOSED 1-HR RATED WALL

— PROPOSED 1/2-HR RATED WALL

▨ AREA TO BE DEMOLISHED

1 EXISTING (DEMOLITION) 2ND LEVEL PLAN
SCALE: 1/4" = 1'-0"

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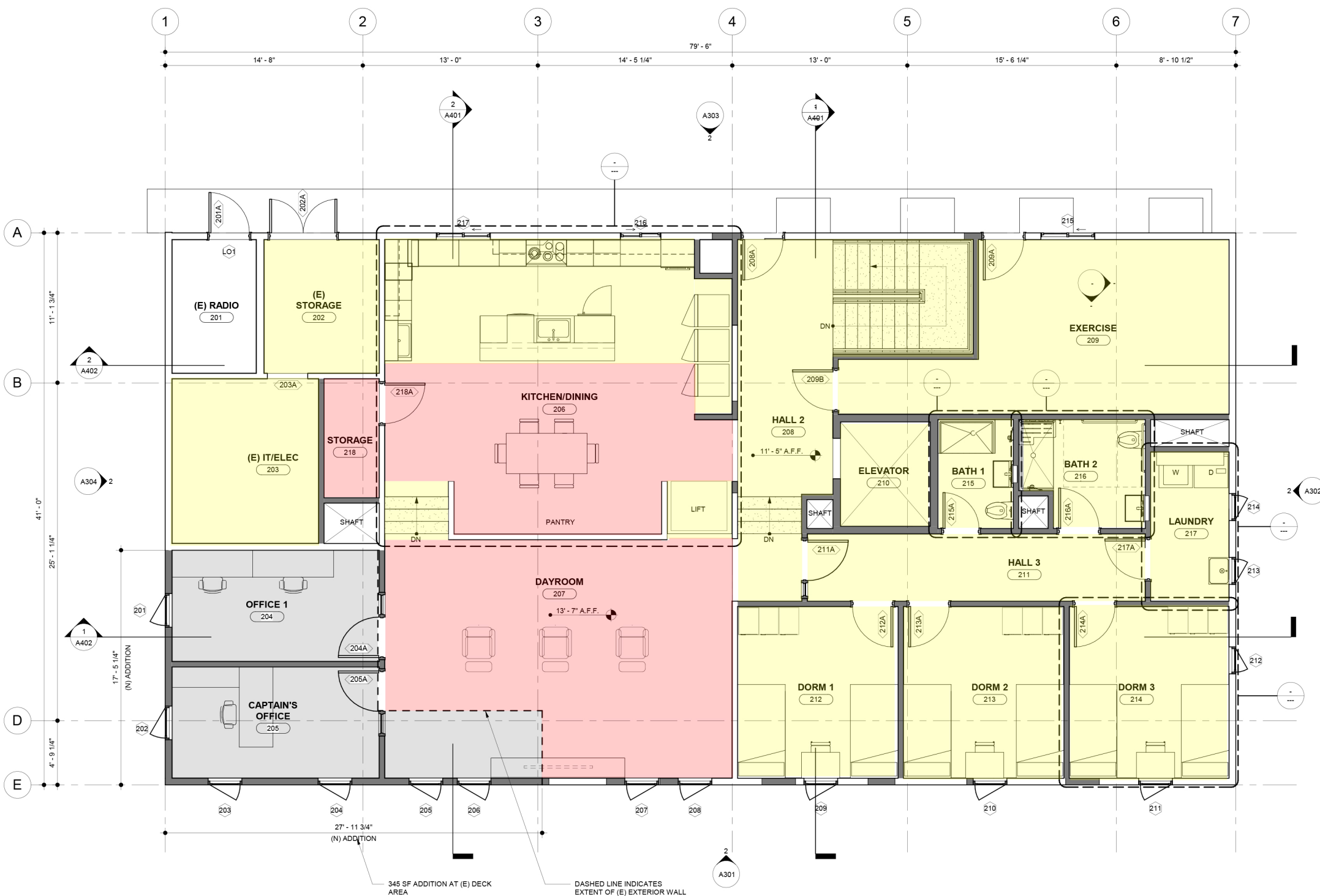
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2	PLANNING SUBMITTAL	11/01/2021

JOB NO.
 0000 KENSINGTON PUBLIC SAFETY BUILDING

DESCRIPTION
 PROPOSED SECOND FLOOR PLAN

WALL LEGEND

- EXISTING WALL
- EXISTING WALL TO BE DEMOLISHED
- PROPOSED WALL
- PROPOSED 1-HR RATED WALL
- PROPOSED 1/2-HR RATED WALL
- AREA TO BE DEMOLISHED



1 | PROPOSED 2ND LEVEL PLAN
 SCALE: 1/4" = 1'-0"

Indicates areas guided by building code requirements and/or other regulations.

Net Area Added by Deck Enclosure = 254sf

“Fire Dept Space Needs” from 09/11/2019 KFPD board mtg & 11/16/2019 public mtg:
 Optimal (Net Use + Circulation, Mech) = +/-8,000sf
 Reduced (Net Use + Circulation, Mech) = +/-6,500sf

New Fire Dept-Only occupancy as shown = 5,663sf Net