



kensington public safety building

public forum: status update

november 16, 2019

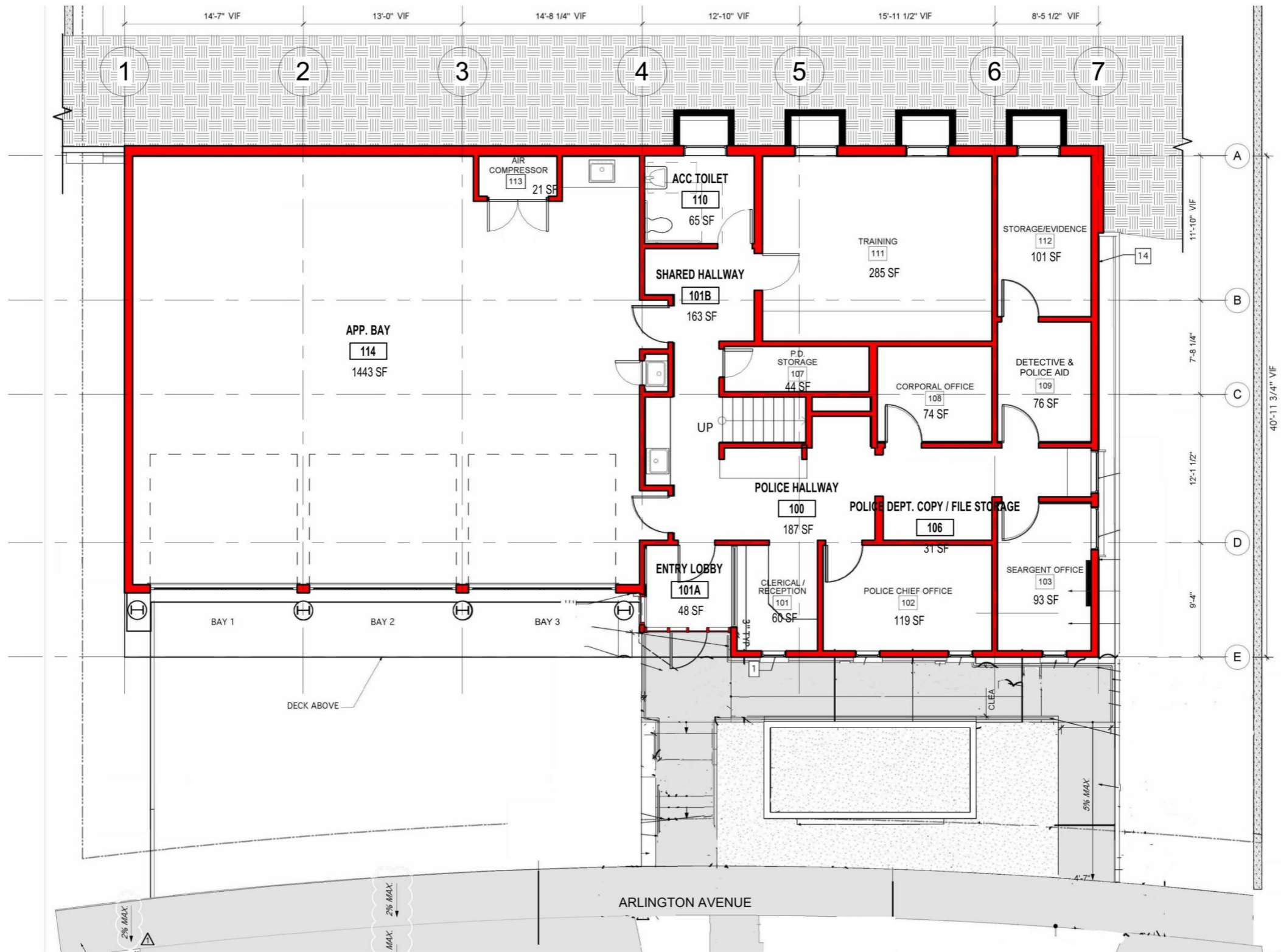




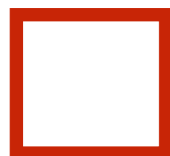
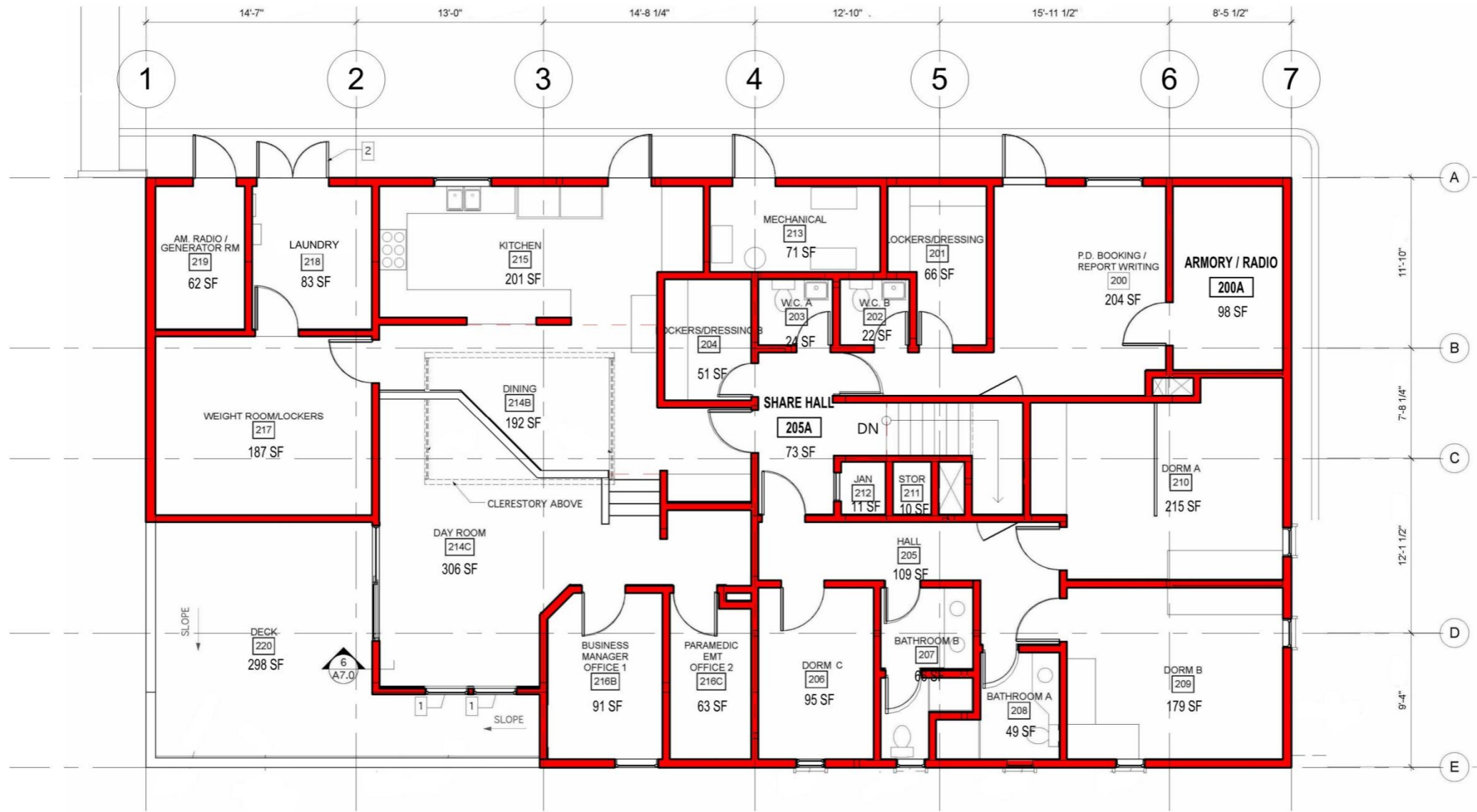


the arlington





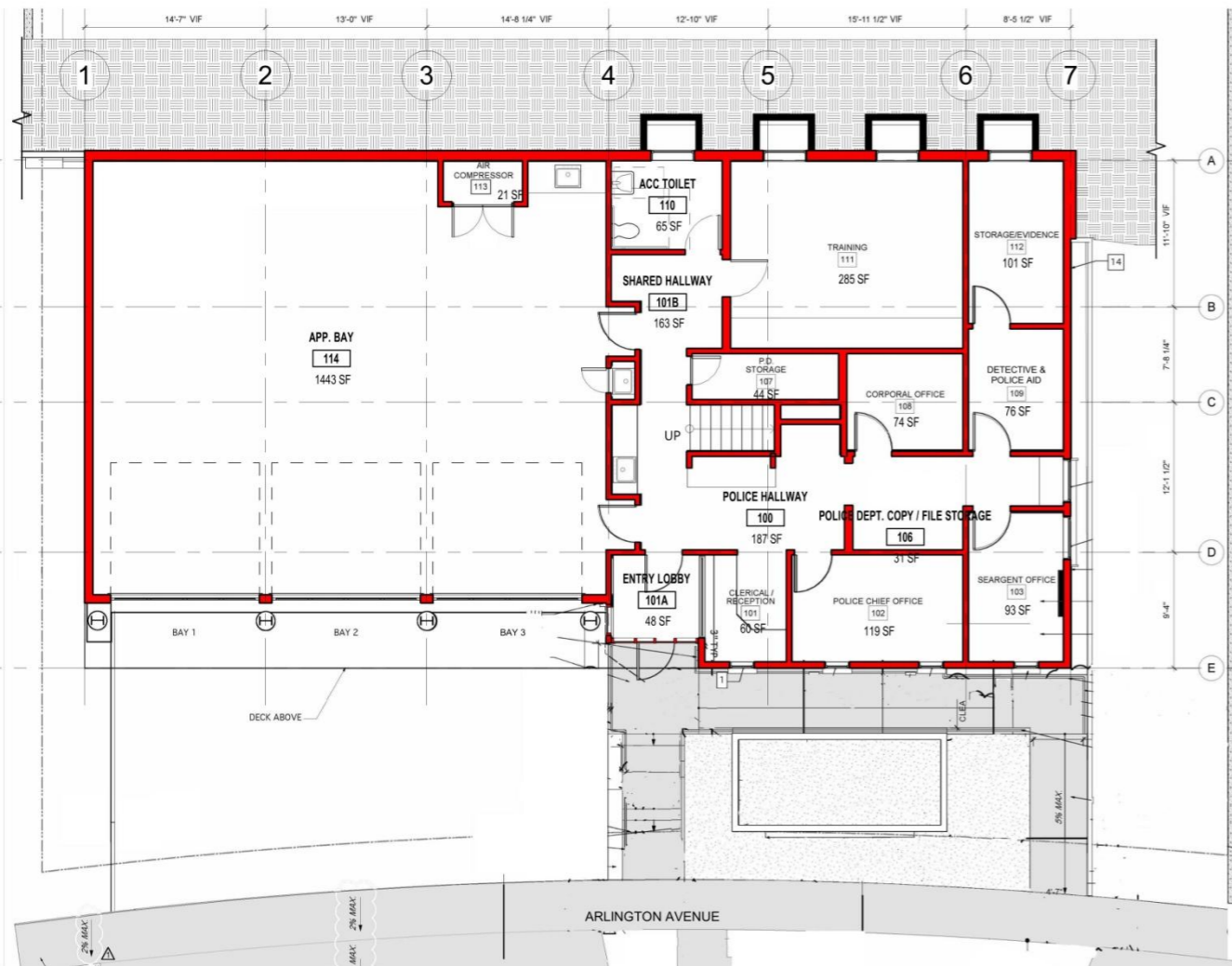
 existing public safety building



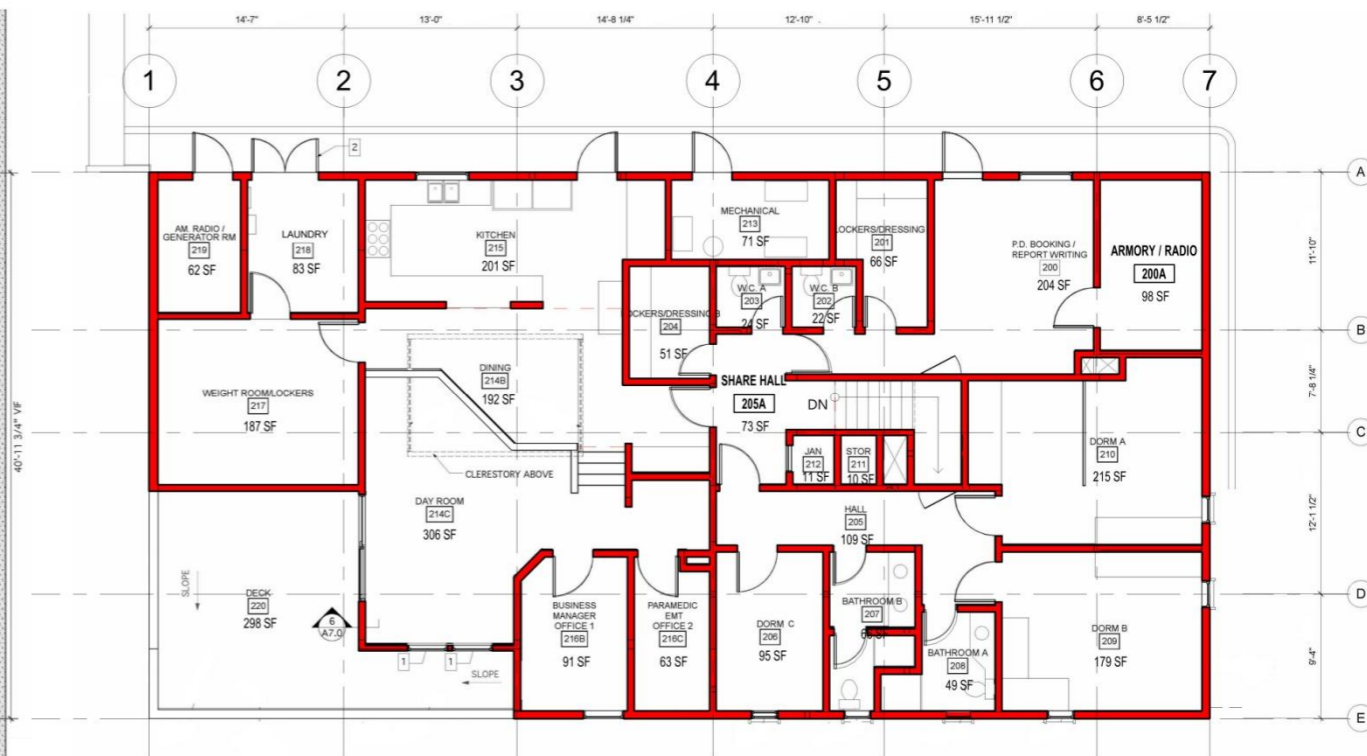
existing public safety building

identifying the challenge

a summary update



level 01

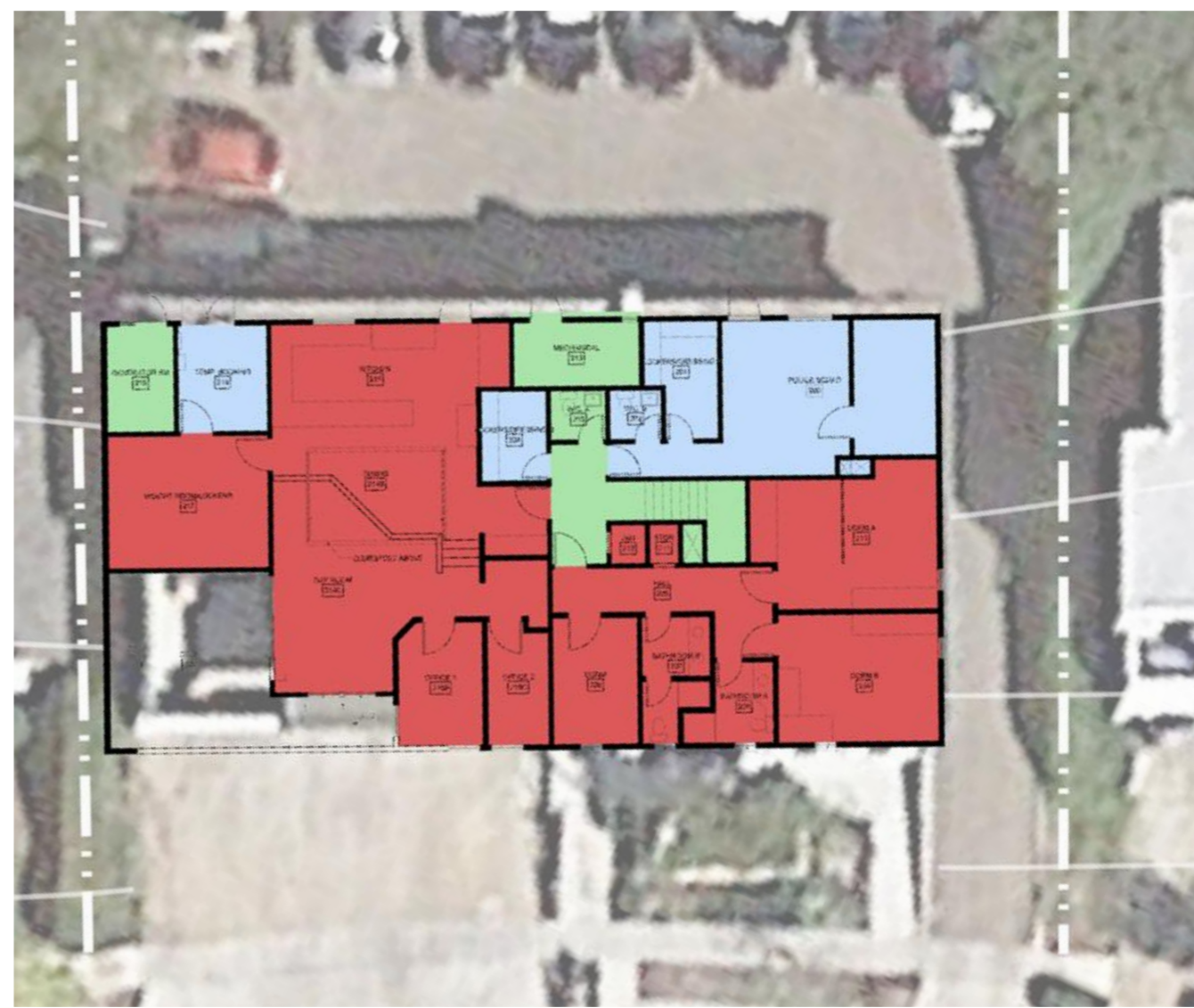


level 02

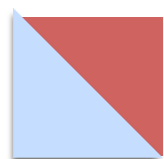
 existing public safety building



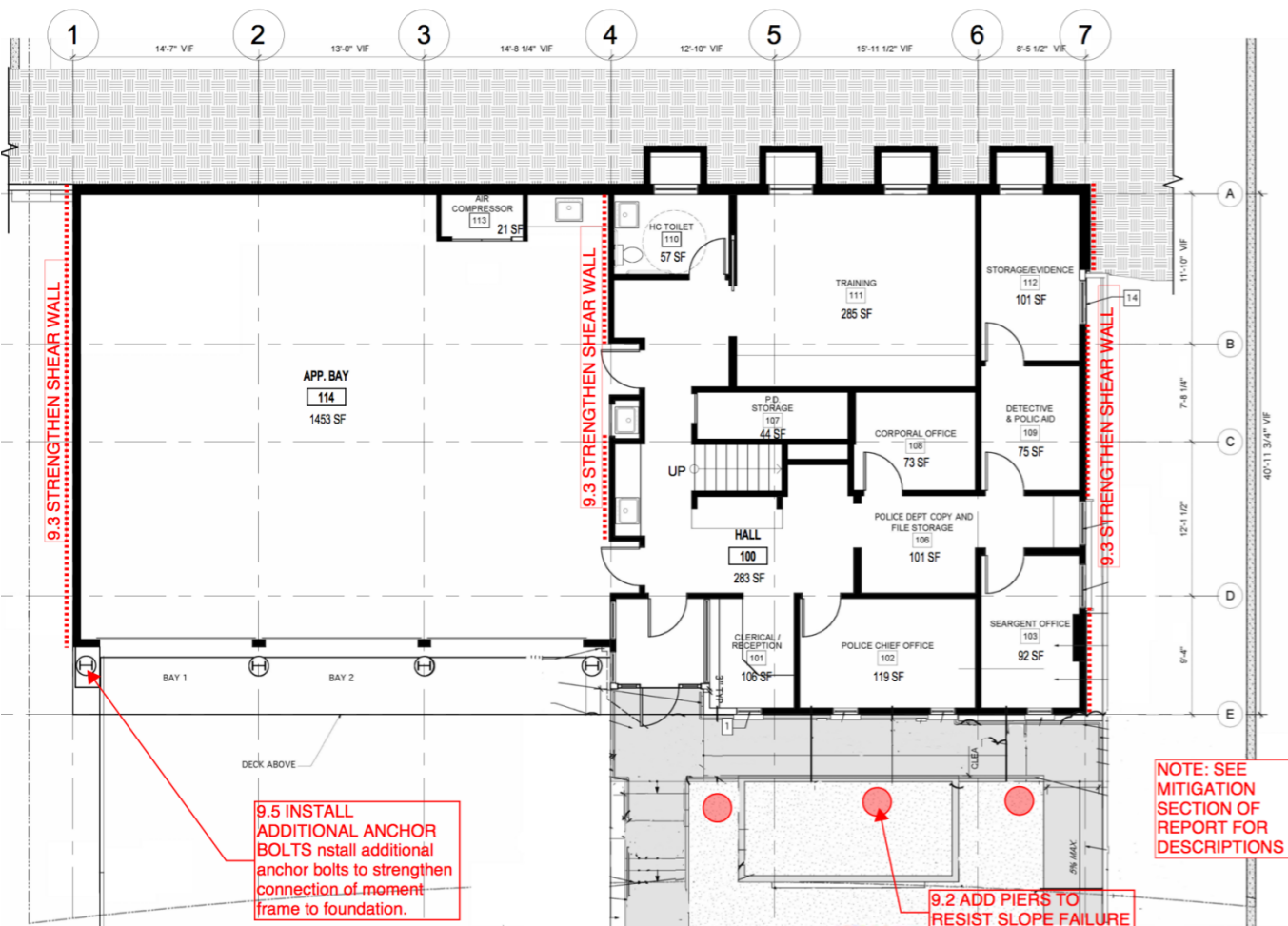
level 01



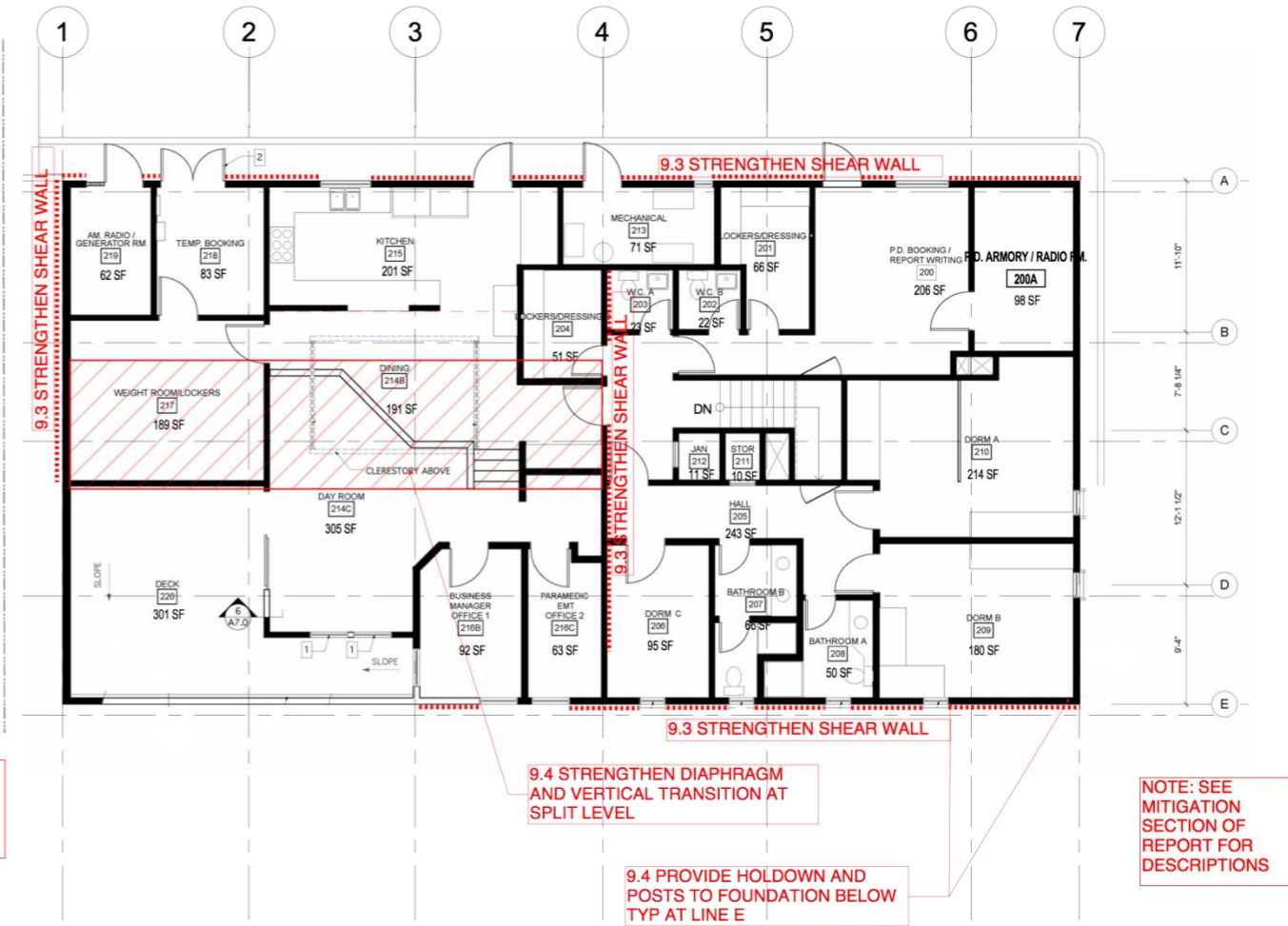
level 02



programmatically tangled



level 01



level 02



seismic upgrade requirements

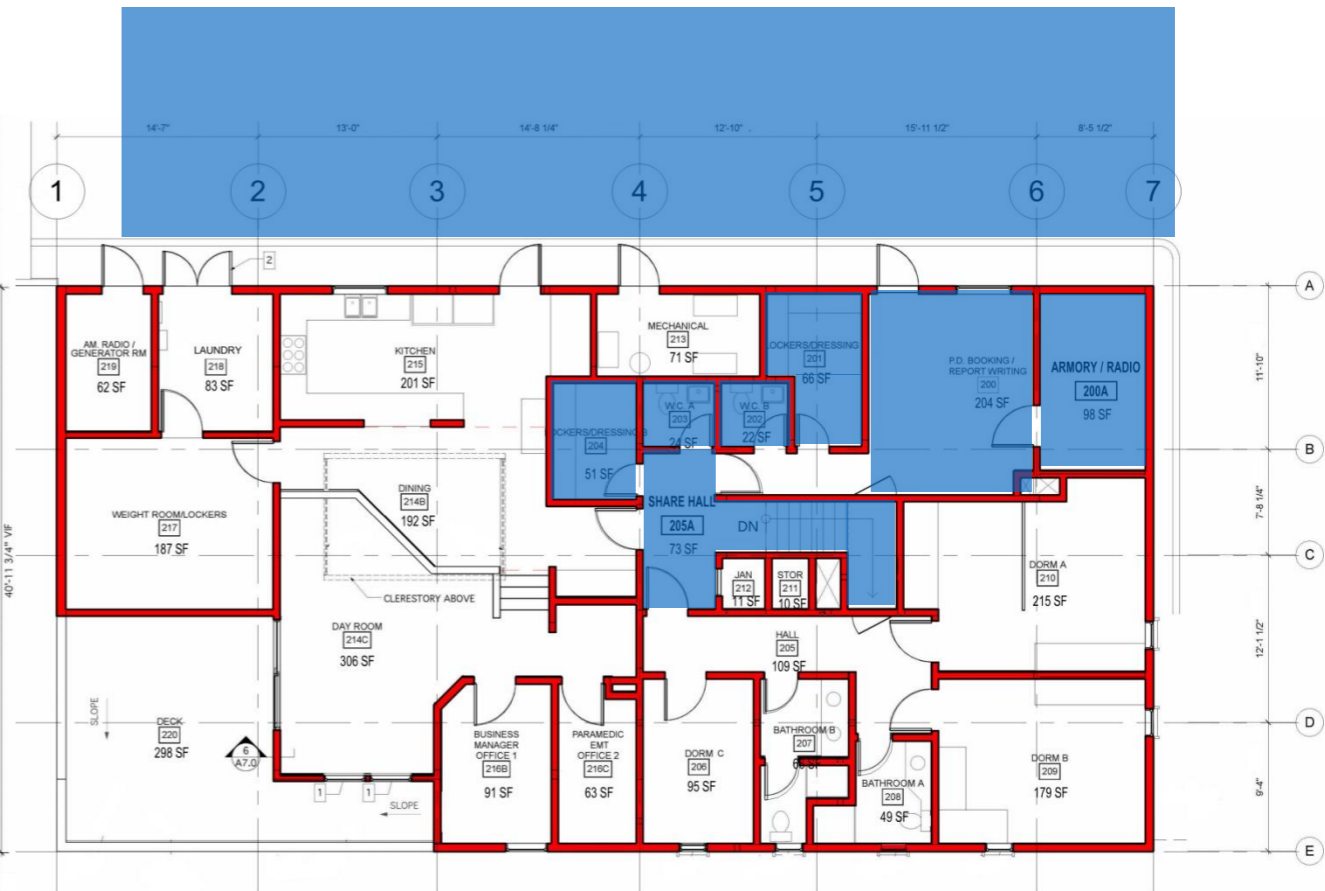


level 01



level 02

 ADA non-compliant areas



police department: non-conforming/non-compliant



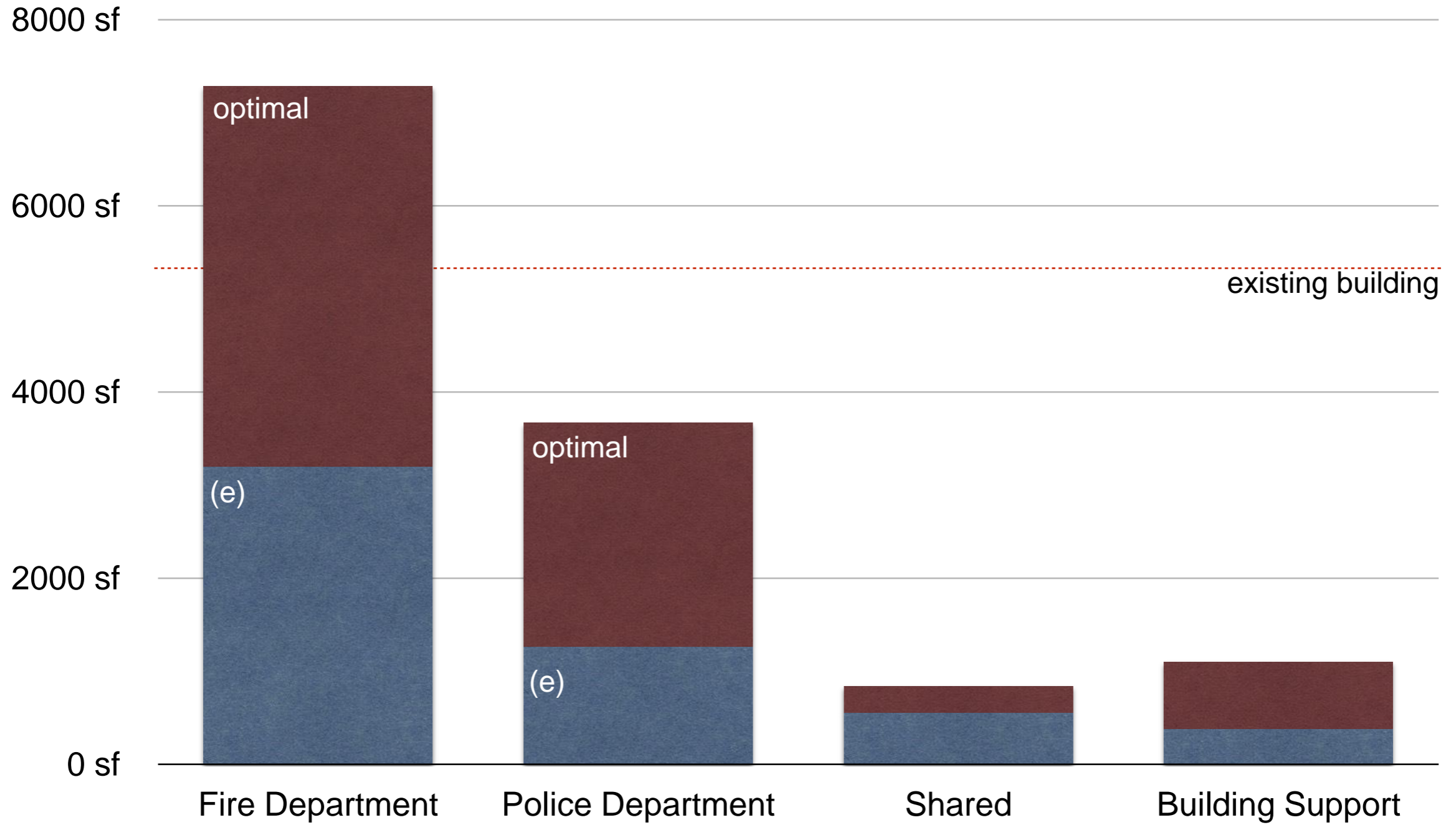
level 01



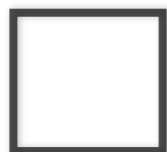
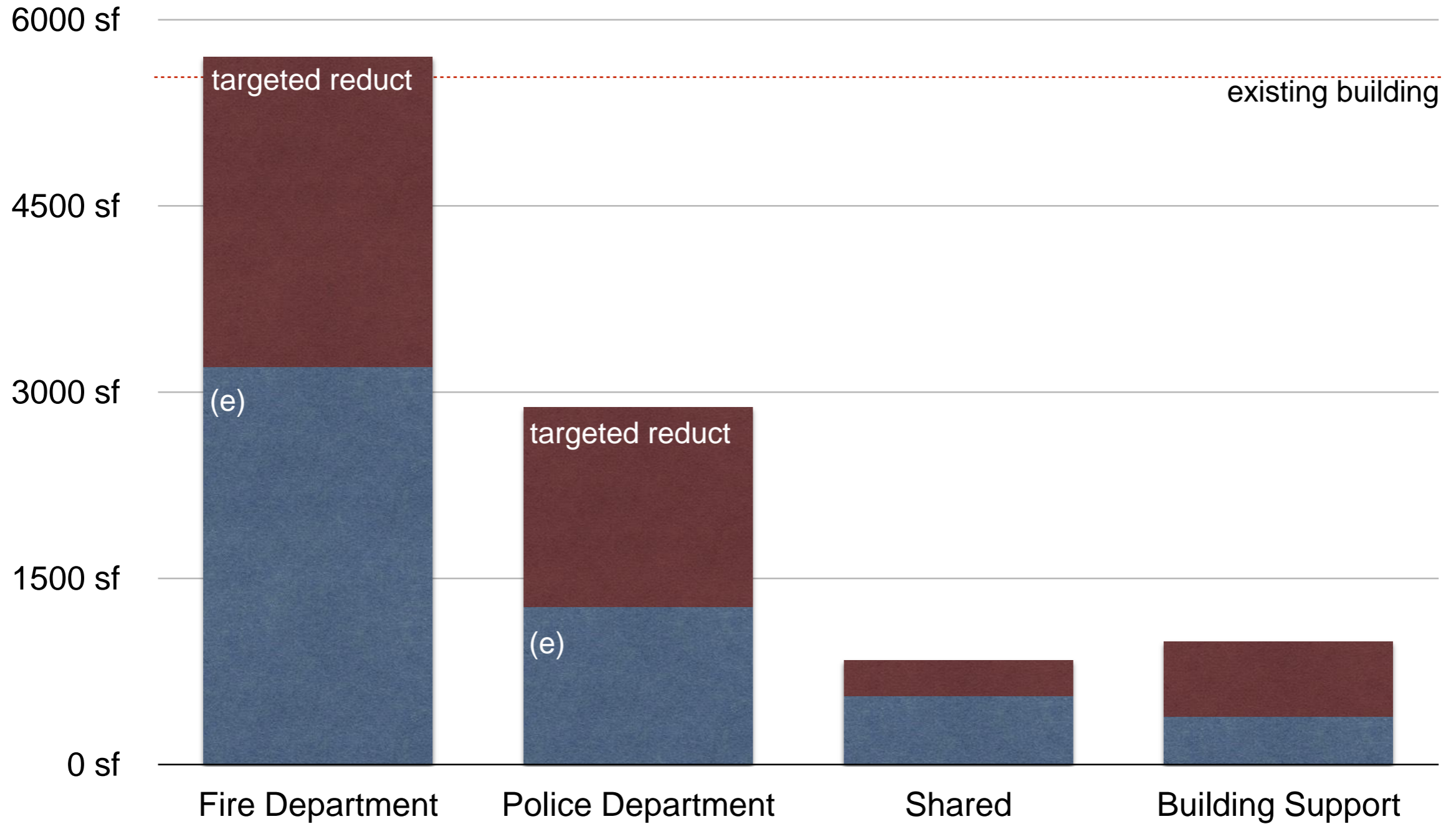
level 02



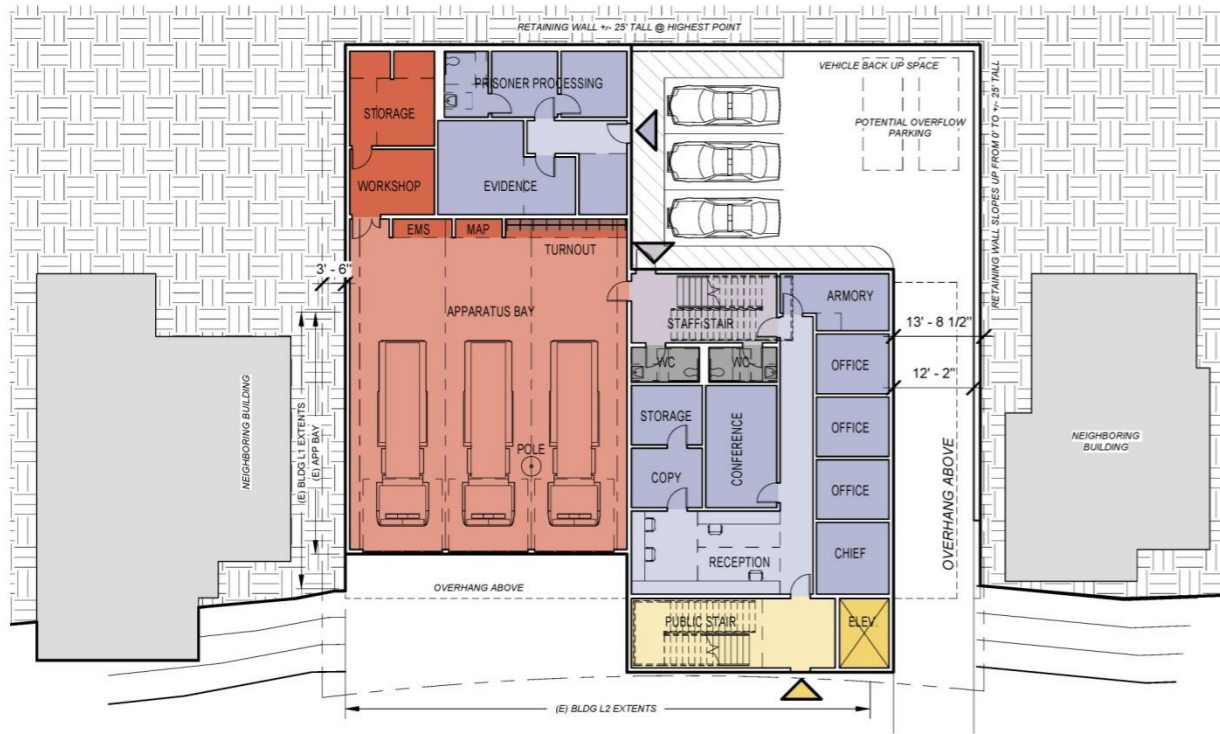
fire department:nonconforming/non-compliant areas



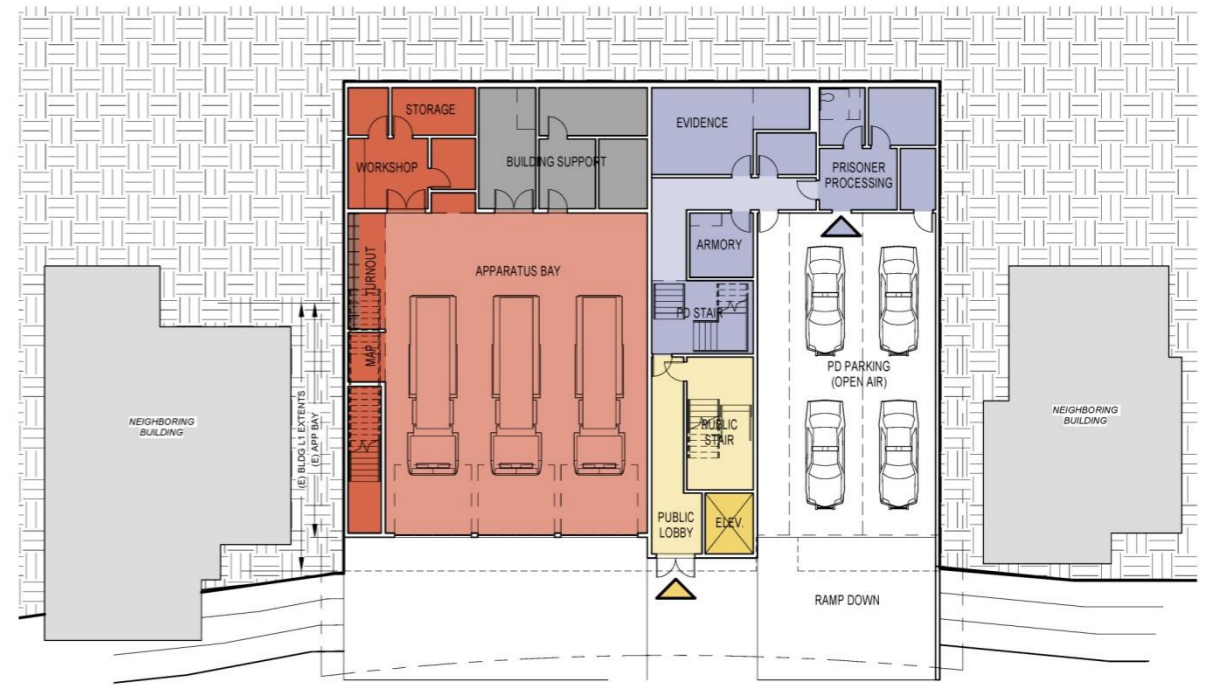
 existing vs. optimal program areas



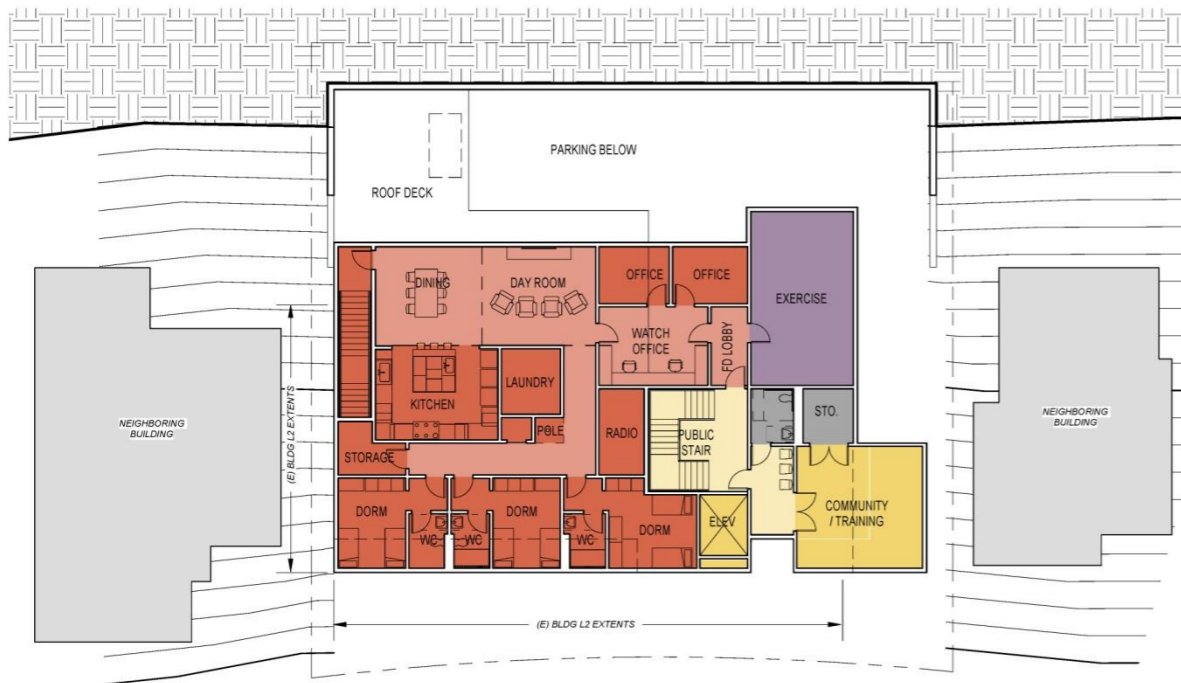
existing vs. target reduction program areas



option 01



option 02



option 03



option 04



expansion not allowed

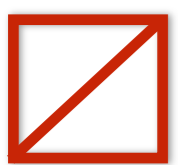


Location of earthquake fault .
50 foot setback recommended.

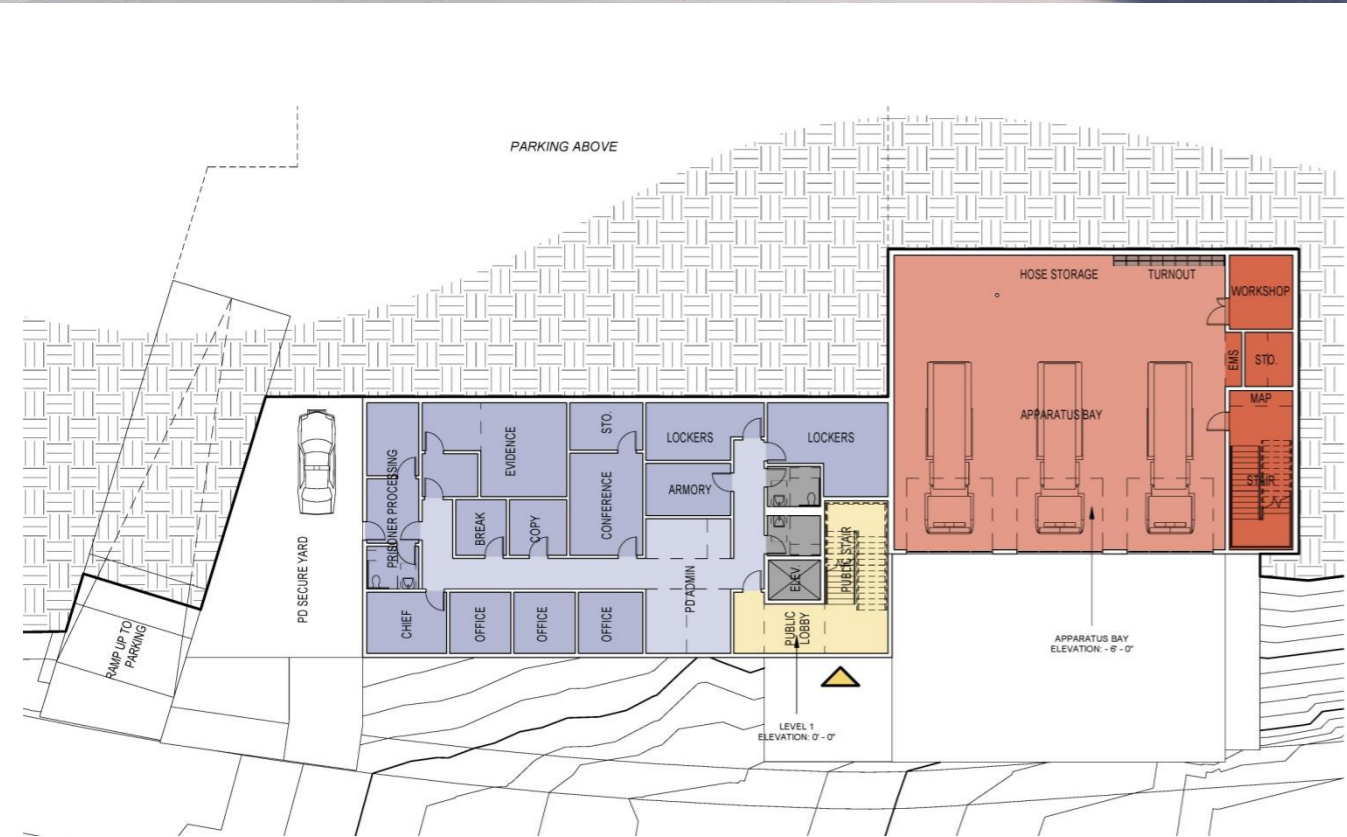
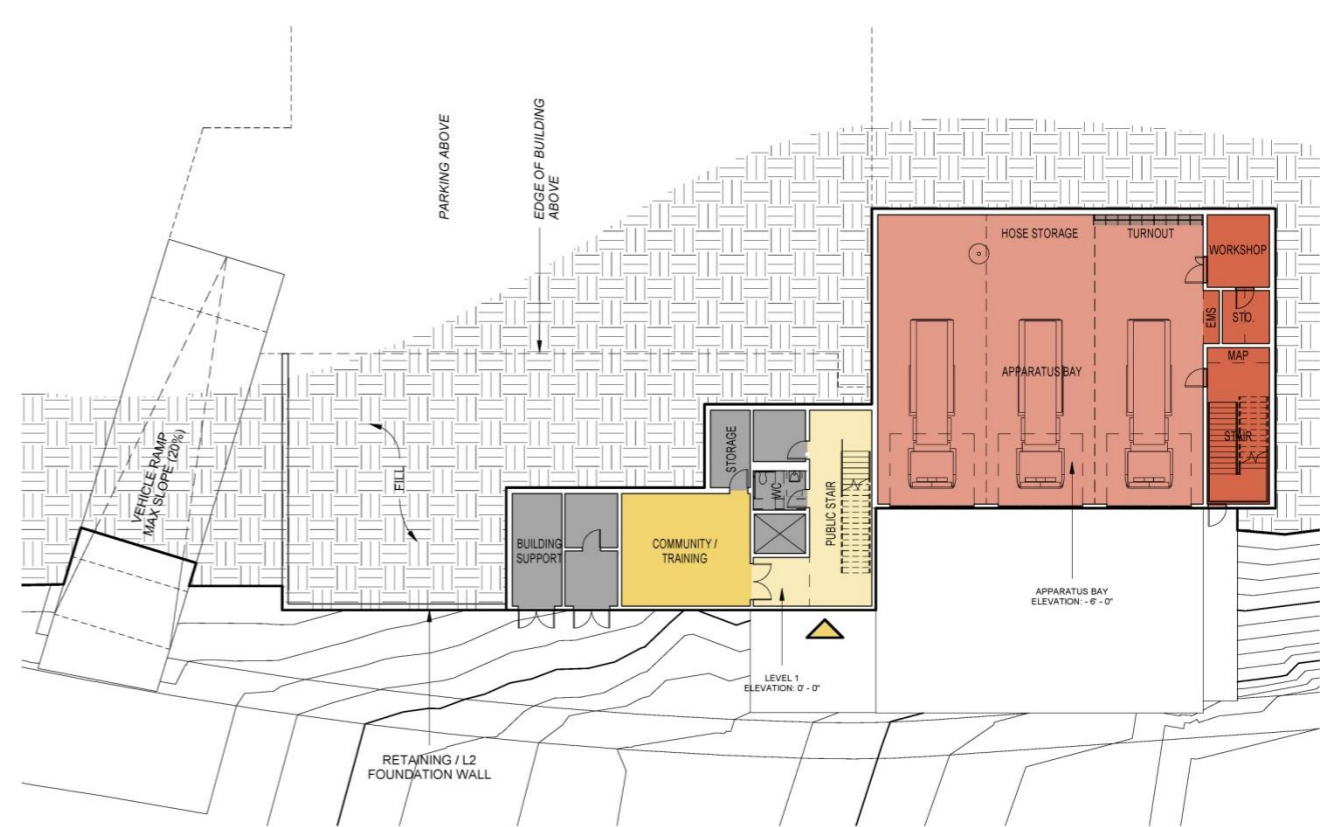
41'

**Kensington
Public Safety
Building**

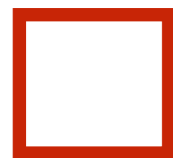
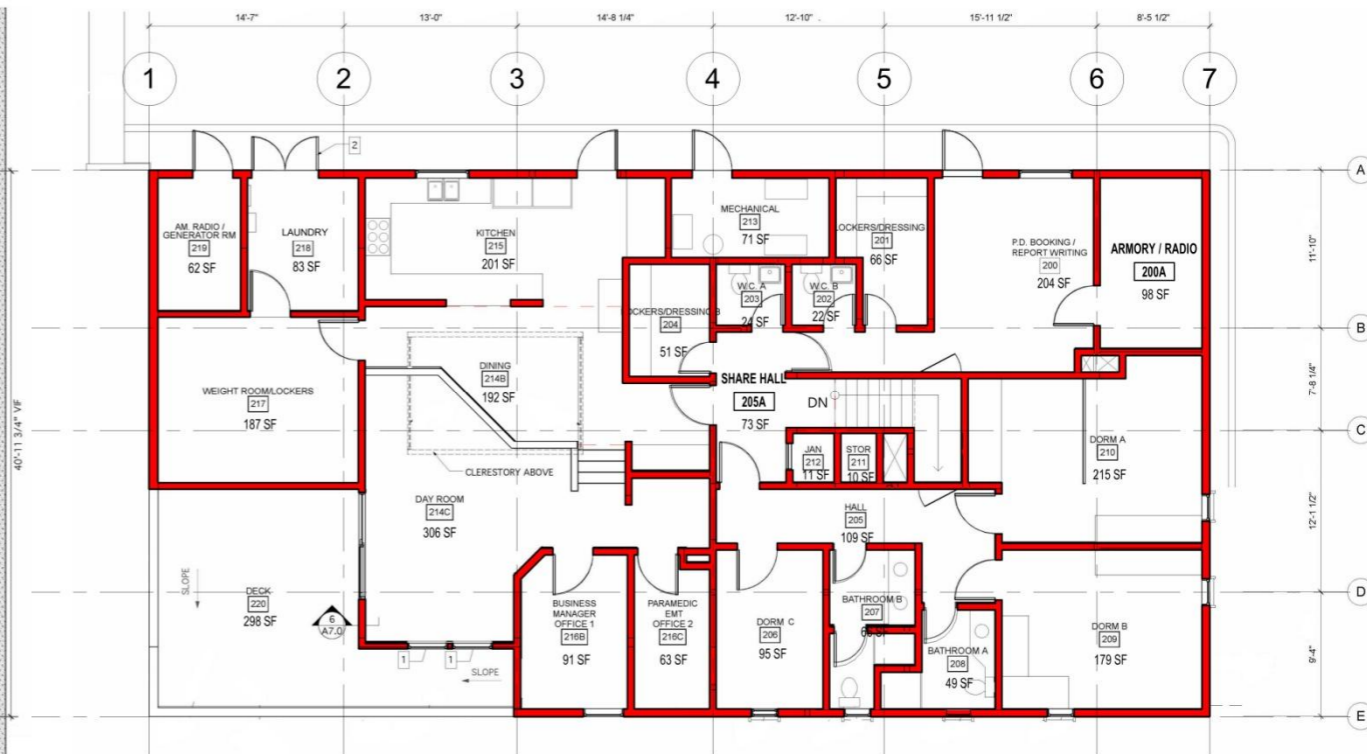
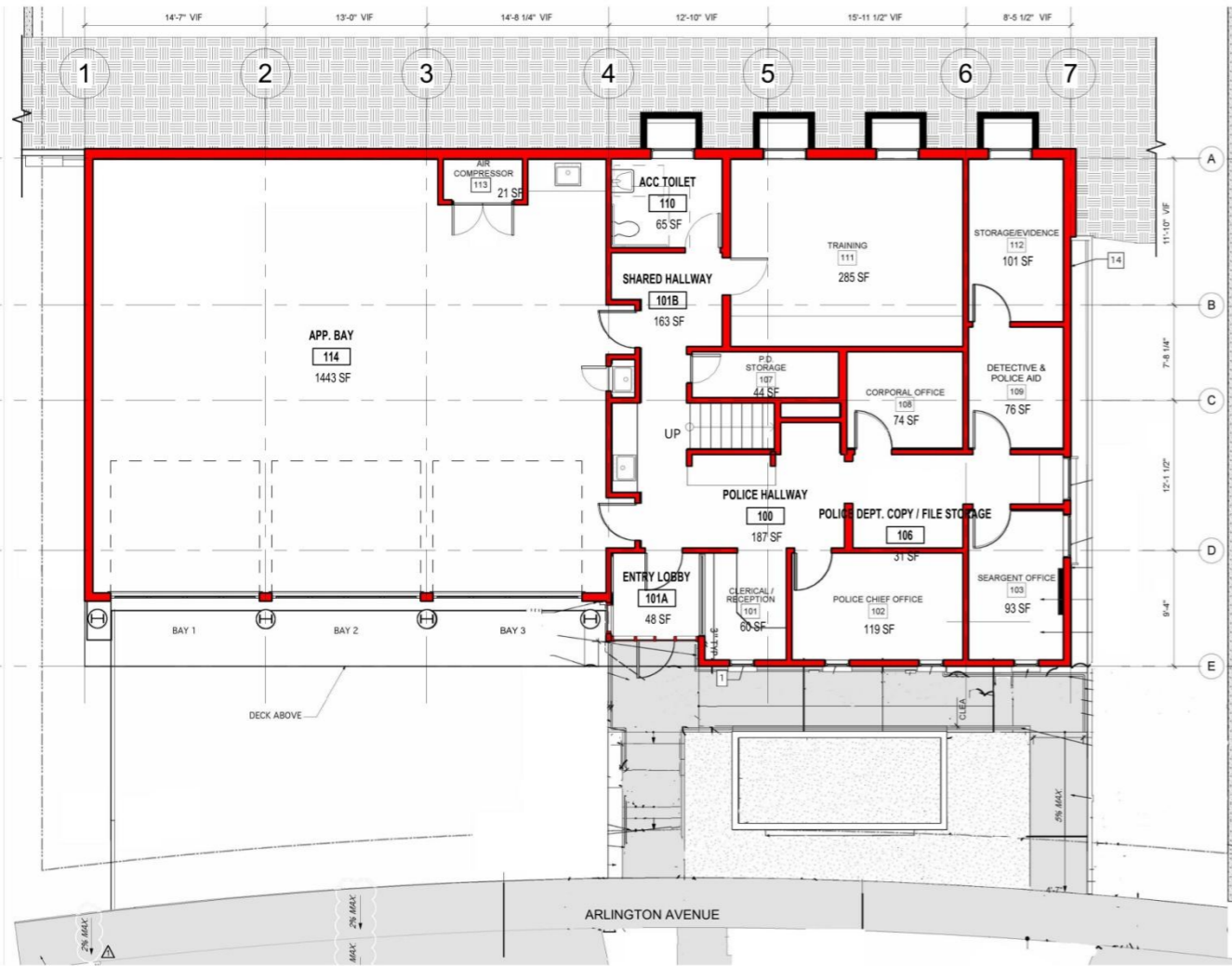
Arlington Avenue



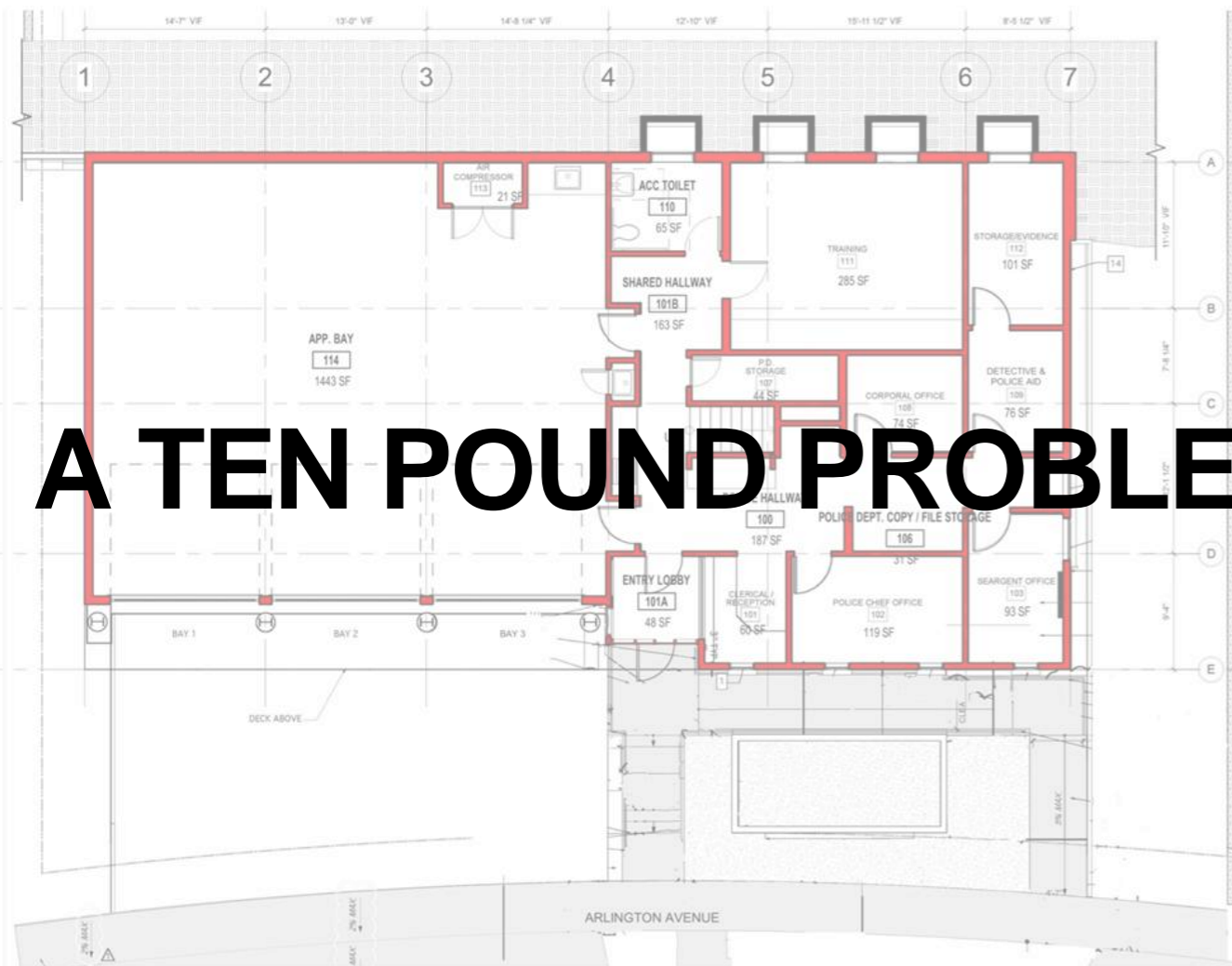
expansion not allowed



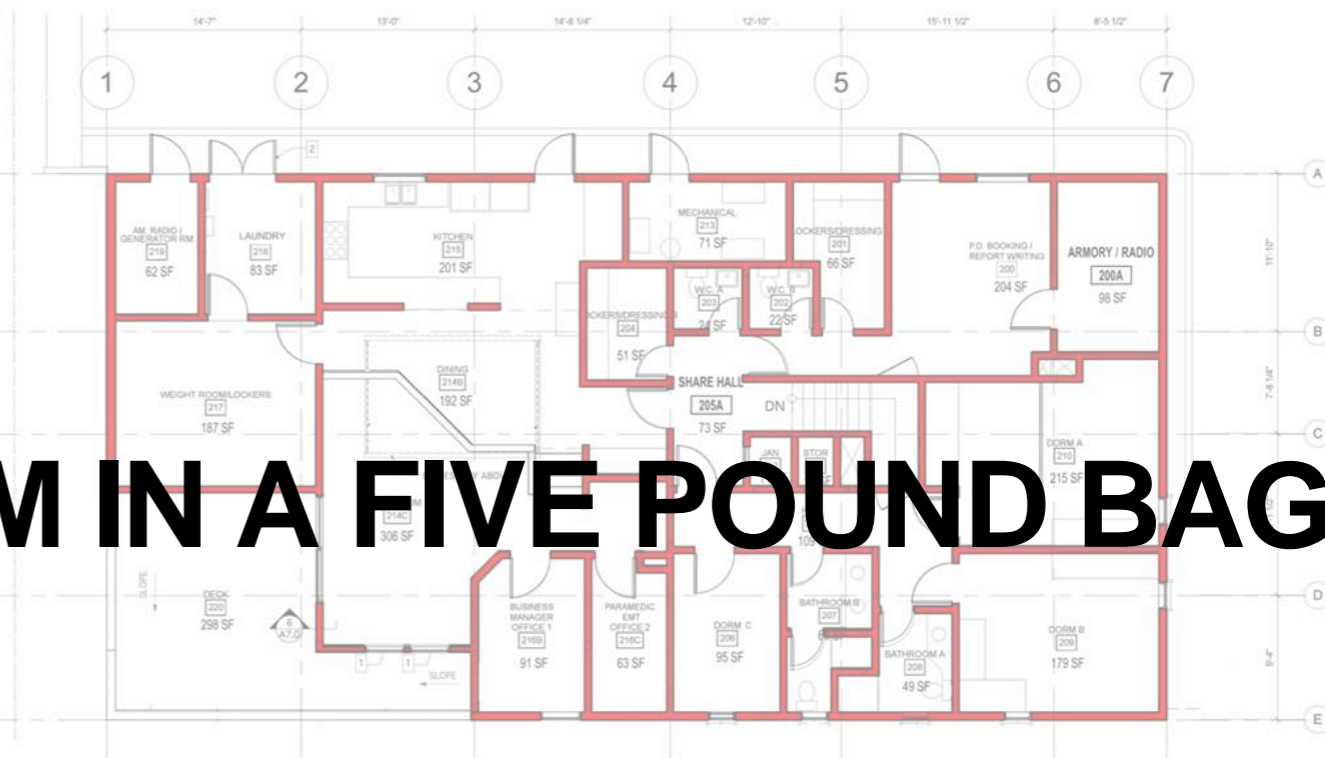
approvable new sites not identified



back to the existing building



level 01



level 02

A TEN POUND PROBLEM IN A FIVE POUND BAG



back to the existing building

fitting within the existing building

a process summary

- *Contact.* **BSCC — Bureau of State & Community Corrections**
- *Research:* **CA Dept. of Conservation** [Geological Survey — Alquist Priolo Earthquake Fault Zones]
- *Contact.* **DSA — Dept. of the State Architect**
- *Contact.* **Contra Costa County Dept. of Conservation & Development**
 1. Supervising Structural Engineer
 2. Accessibility Division

allowable remodel \$\$

The value of the structure is the replacement cost to construct a building of the same size. The Owner should get a cost estimate for the replacement cost of the building. This will then establish the 50% upper limit that can be spent on the renovation of the building. However, the building department will have to accept the estimated costs.

conclusion

- replacement-cost cost estimate required
- 50% of above = renovation budget
- County verification required
- scope may need to be reconsidered

accessibility requirements

The building will need to comply with all California Building Code (CBC) regulations for accessibility. An accessible path of travel between levels is required. All levels of the building will need to be made accessible either by a ramp or an elevator. All portions of the building will need to comply with CBC accessibility regulations. This includes, but is not limited to; parking, entries, kitchen, restrooms, showers, sleeping rooms, living areas, offices, training rooms and public areas.

conclusion

- elevator required
- wheelchair lift @ split level required
- verify all operational areas provide for accessibility

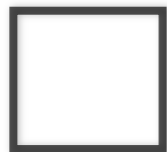
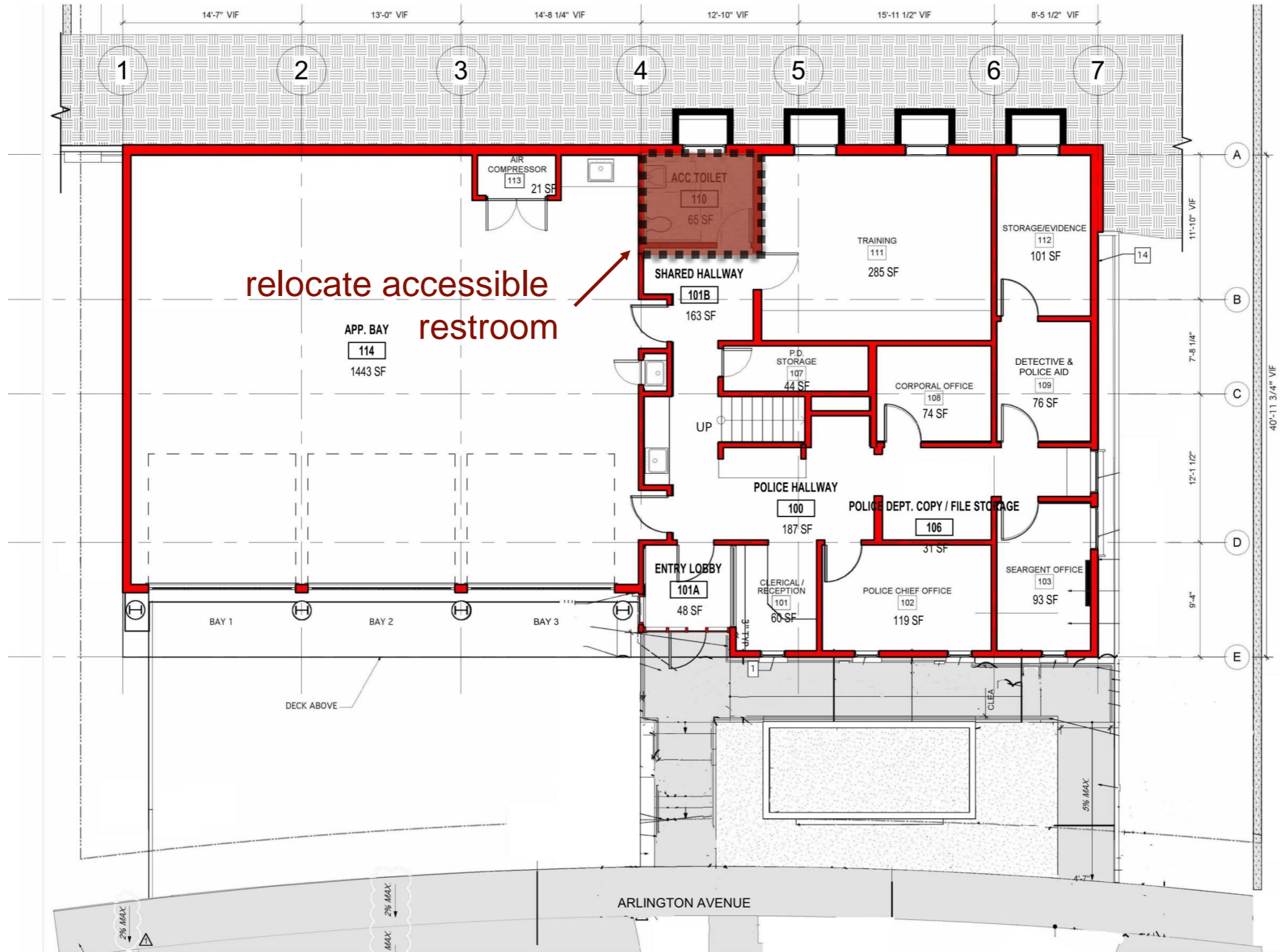
expansion vs. occupancy

The occupancy of the building may not be increased by any means from the occupant load that currently exists in the building.

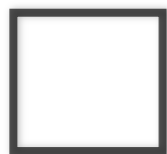
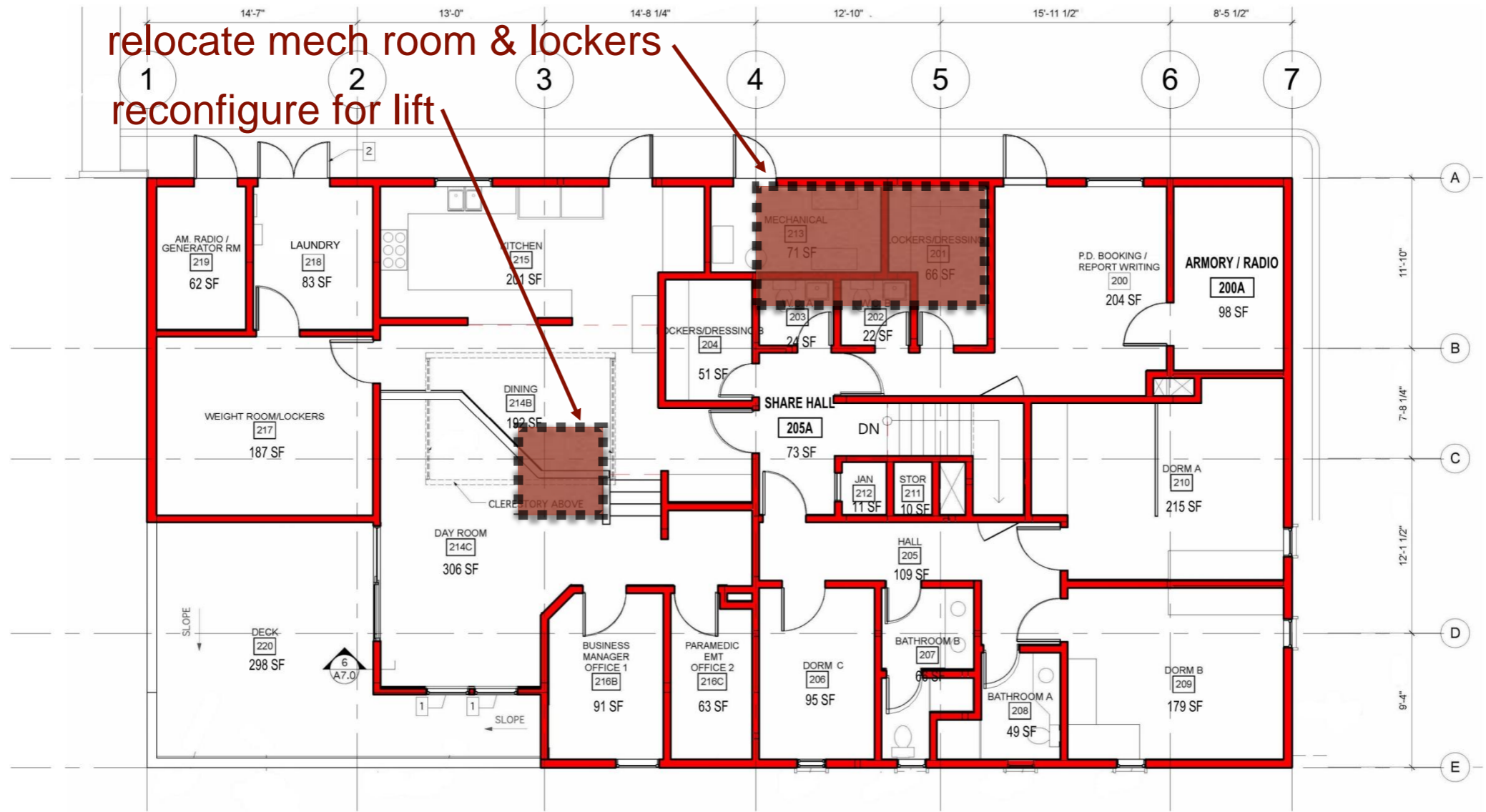
conclusion

- proposed plans may not increase occupancy

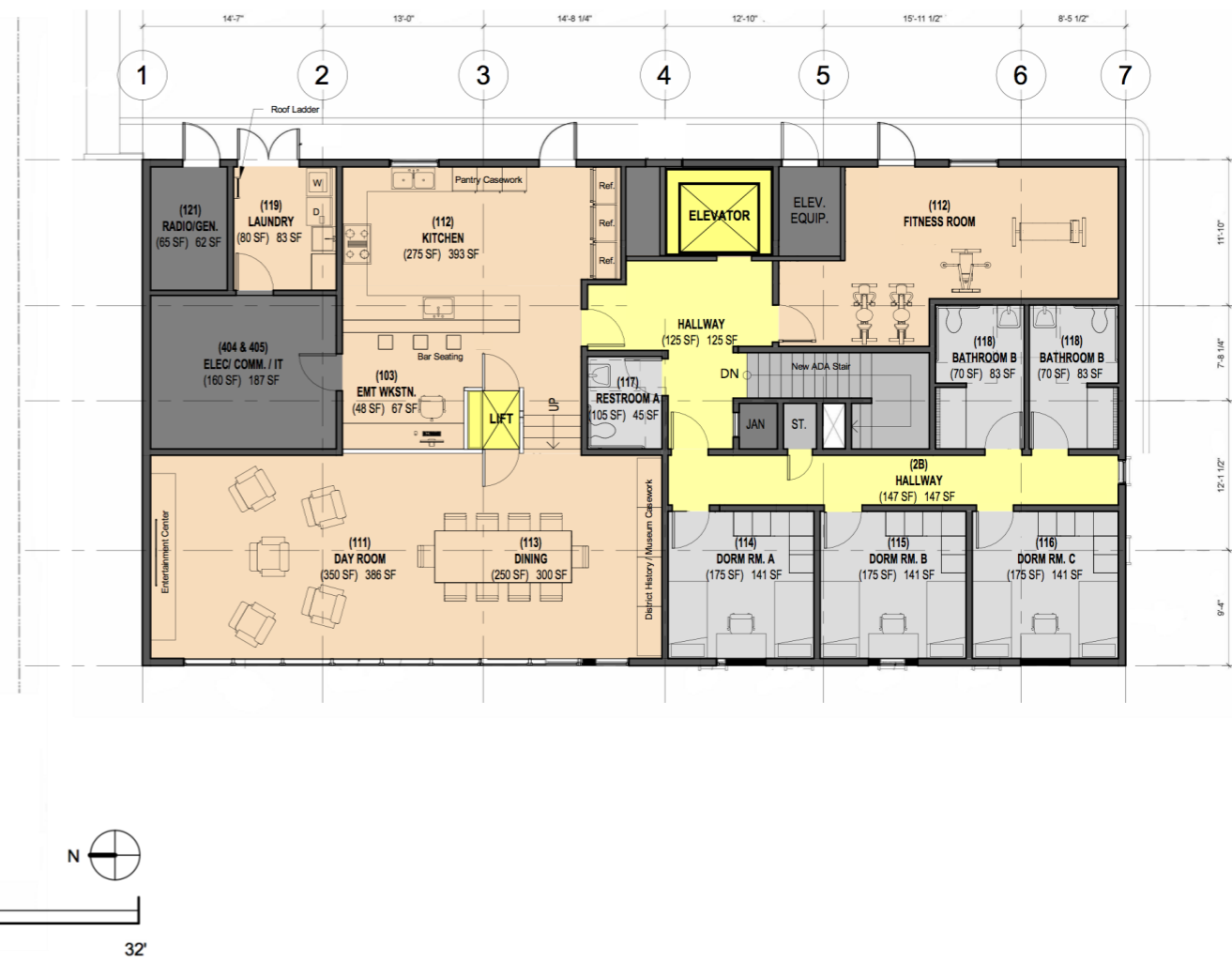
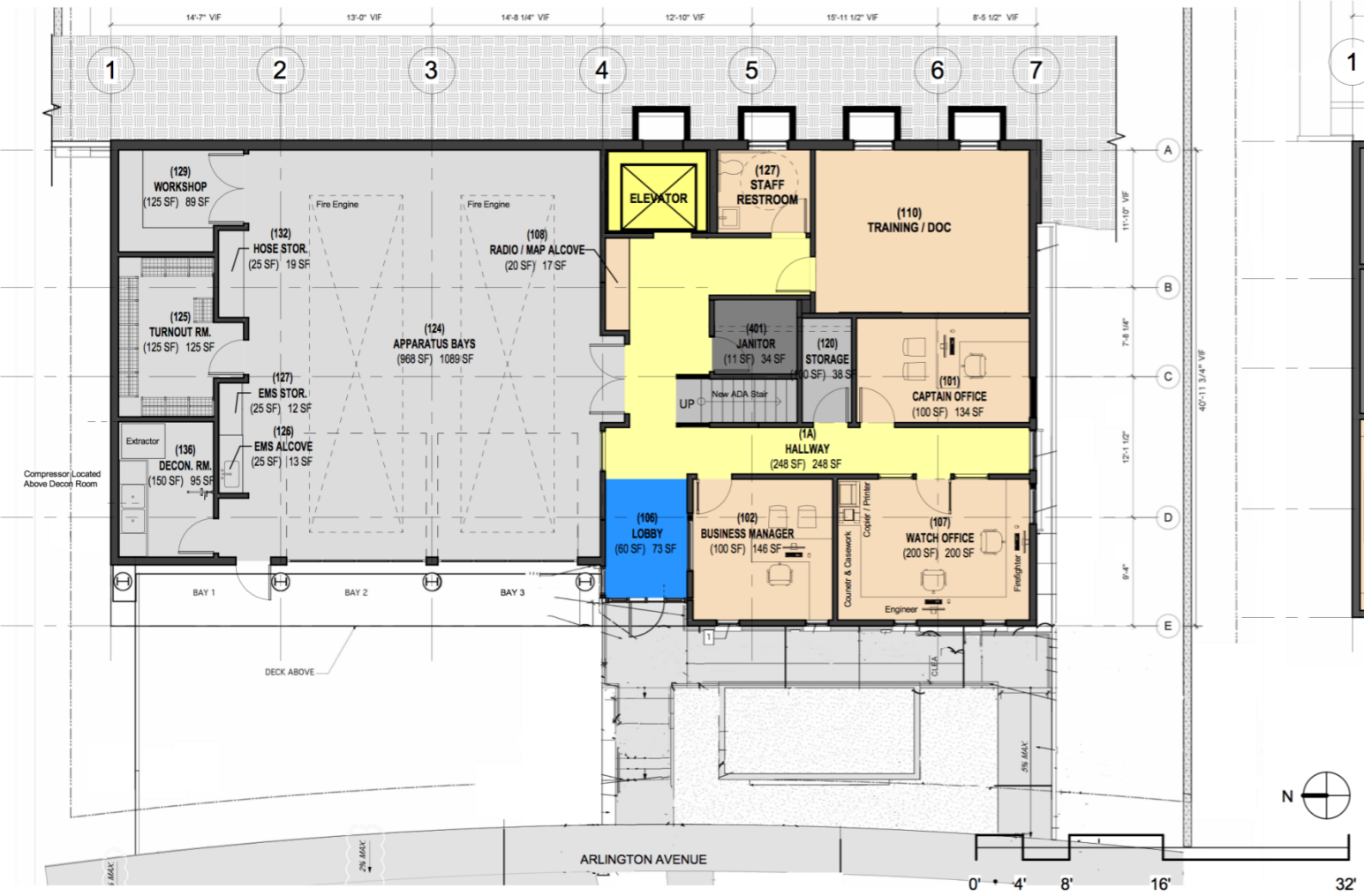
*NOTE: preliminary analysis verifies that the current plans to **not** increase occupancy*



existing level 01: new elevator



existing level 02: new elevator

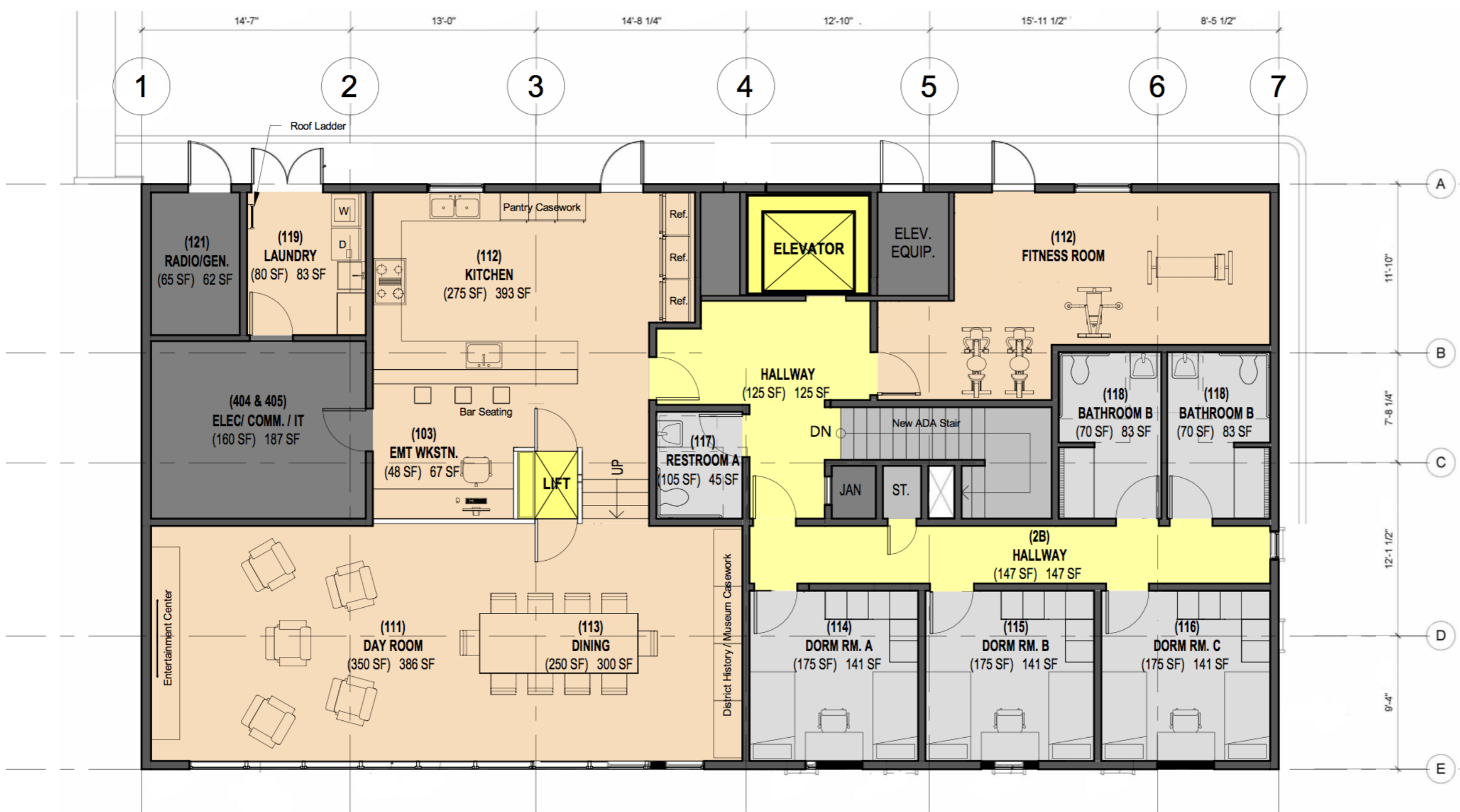


scenario 01: *existing footprint, fire department only*

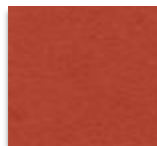


level 01

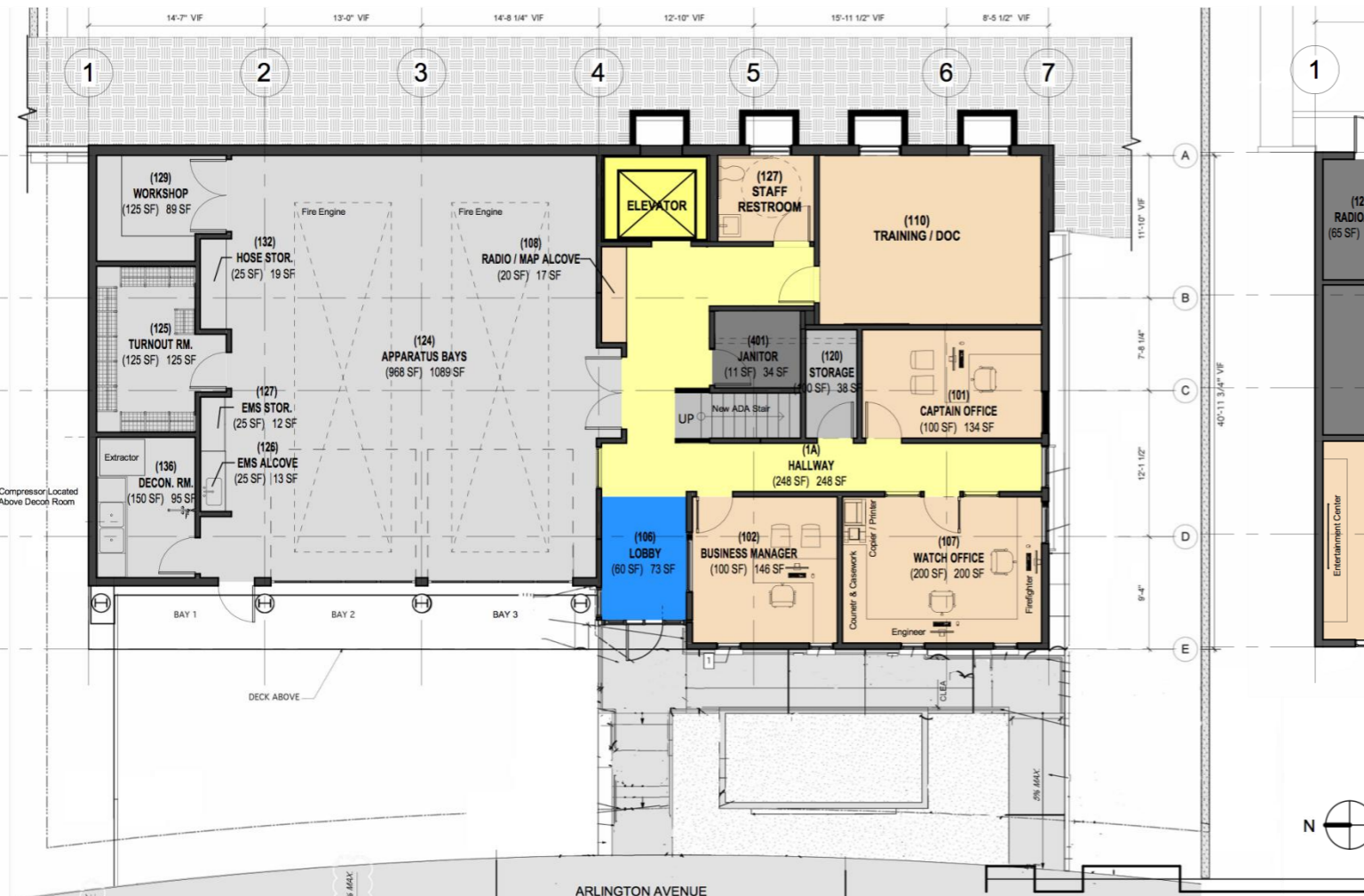
scenario 01: *existing footprint, fire department only*



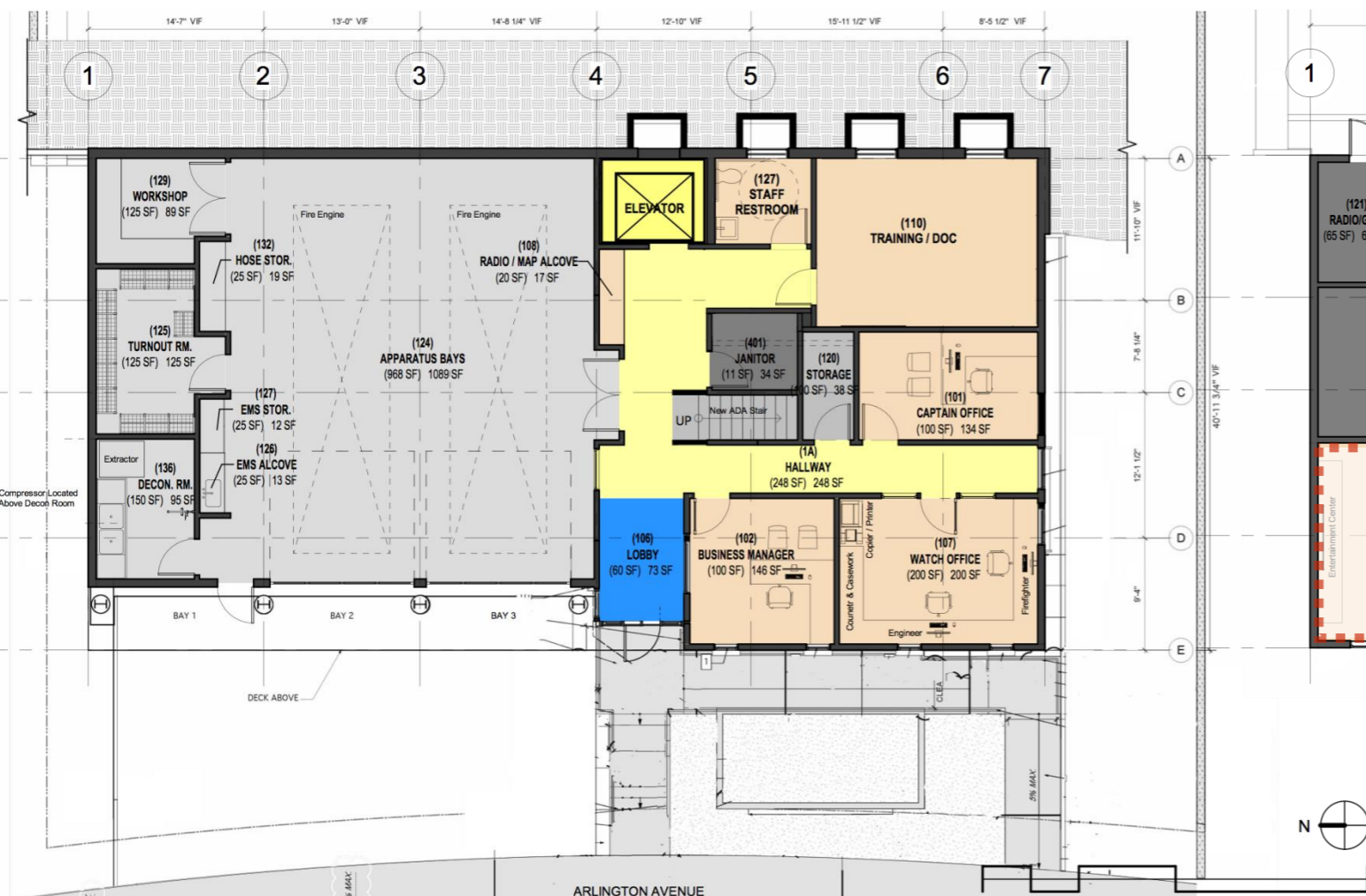
level 02



scenario 01: *existing footprint, fire department only*

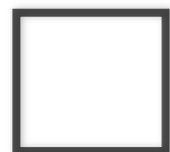


scenario 01: *police department status undetermined*



scenario 01: *deck expansion not confirmed*

- **code:** elevator and lift required
- **code:** current proposed plans do not increase occupancy, but deck expansion unconfirmed
- **scope:** what was not enough room previously has even less room now
- **budget:** renovation \$\$ ceiling is $\leq 50\%$ of *replacement* \$ (site costs excluded). *This is an ambitious target, may reduce scope further*
- **significant unresolved topics:**
 - police department status
 - temporary fire department relocation

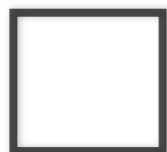


existing building remodel study summary

potential next steps

finding a path to resolution

- **determine scope target:** fire department only, or combined public safety building
- **establish budget/reconcile scope:** prepare cost estimate for replacement; calculate 50%; value engineer scope to stay under ceiling.
- **create technical working group:** 1) form a steering committee that includes operational personnel; 2) authorize steering committee members to make decisions on behalf of departments; 3) creatively explore *any* remaining scenarios; 4) prepare solution options for discussion.
- **return to community with solutions.** the next outreach should demonstrate a clear, negotiated path toward optimized solution.



next steps



kensington public safety building

public forum: status update

november 16, 2019