



KENSINGTON FIRE PROTECTION DISTRICT

DATE: April 19, 2023

TO: Board of Directors
Kensington Fire Protection District

RE: Cost Proposal From Marjang Architecture - Potential First Floor
Realignment of the Restroom And Kitchenette

SUBMITTED BY: Mary Morris-Mayorga, Interim General Manager

Recommended Action

Staff recommends that the Board discuss the design cost proposal for potential first floor revisions as provided by Marjang, and determine whether action or approval is desired, and/or provide staff direction.

Background

At the meeting held on March 15, 2023, the Board of Directors requested that staff seek a design cost proposal from Marjang Architecture for potential first floor revisions. Marjang Architecture has provided the design and structural engineering cost proposal associated with the potential revisions in the amount of \$63,400. The time estimated for scheduling and producing the design is 8 – 12 weeks which would then require submission to the County.

As an alternative, the Board discussed the potential for a sink and mini refrigerator in the existing meeting room. Marjang Architecture confirmed that these could be included in the design at no charge and would only require minor construction costs for plumbing, electrical, fixtures, and associated labor.

Fiscal Impact

The design costs for realignment of the restroom and kitchenette of \$63,400 would increase the construction budget for the Public Safety Building renovation project. In addition, there would be increased construction costs along with demolition costs for any work that has already been completed.

Alternatively, there would be no design costs for the addition of a sink and mini refrigerator in the meeting room; however, there would be minor construction costs.

Attachments

- A. Marjang Architecture Proposed Contract Modification**
- B. ZFA Structural Engineers Proposed Extra Services Authorization**

MARJANG

April 8, 2023

Mary Morris-Mayorga, Interim General Manager
Kensington Fire Protection District
217 Arlington Avenue
Kensington, CA 94707

RE: Kensington FPD Public Safety Building Contract Modification 04

Dear Mary,

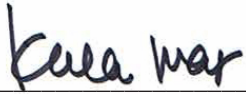
We are requesting the additional services outlined below per the Scope of Work outlined in 20230320 KFPD Design Cost Proposal Request_MarJang (incl att).pdf provided to MarJang Architecture on 3/20/23 from the Kensington Fire Protection District.

The scope of work includes the relocation of a 1st floor restroom and addition of a kitchenette and plan revisions to the 1st and 2nd floors of the Kensington Fire Protection District Public Safety Building located at 217 Arlington Avenue, Kensington, CA. The work will include submission of the permit revision required for this work to Contra Costa County.

Original Contract Scope	\$418,112.50
Modification 01	\$109,085.13
Modification 02	\$4,200.00
Modification 03	\$82,925.00
Revised Contract Amount	\$614,322.63
Modification 04 - Revision Submittal - Restroom Relocation & Kitchenette	
4.1 - MarJang Architecture	\$26,000.00
4.2 - List Engineers - Mechanical/Plumbing	\$7,400.00
Modification 04 Subtotal	\$33,400.00
Revised Contract Amount	\$647,722.63

Please review and process at your earliest convenience.

Sincerely,



Karen Mar, Principal
MarJang Architecture

Modification Approval by:

Mary Morris-Mayorga, KPFD Interim General Manager
Kensington Fire Protection District

Date





List Engineering Company
Mechanical Consultants

Monterey 831.373.4390
San Francisco 415.355.1962

www.listengineering.com

C O N T R A C T A D D E N D U M

PROJECT: Kensington Public Safety, Kitchenette and Bathroom Revisions
NUMBER: LEC 21025.02

CLIENT: MARJANG Architects
ADDENDUM No.: 2

ADDRESS: PROJECT MGR.: Ron Blue

DATE: 7 April 2023

ATTN.: Karen Mar
VIA: PHONE EMAIL
 LETTER FAX

DESCRIPTION OF WORK: Revise MEP drawings to reflect hidden conditions discovered during construction.

ADDENDUM FEE: Fixed fee \$7,400

TIMELINE: When authorized

REASON FOR THE CHANGE: City request.

COMMENTS: Fee presumes (e) DHW, AC and electrical designs can support the added features. If not, there will be further discussion and fee requests.

PROJECT MANAGER: /Ron Blue/

THE ABOVE DESCRIBED WORK WILL PROCEED UPON RETURN OF THIS SIGNED ADDENDUM.

THE ABOVE DESCRIBED WORK IS IN PROCESS BASED UPON YOUR VERBAL REQUEST.

CLIENT: _____

DATE: _____

Please sign and return a copy of this Contract Addendum within seven days. All conditions of the original Contract apply to this Addendum.

Mary Morris-Mayorga
KENSINGTON FIRE PROTECTION DISTRICT
217 Arlington Avenue

Project Name: Kensington Public Safety Building

Project Number: 21479

Extra Services Requested By: KFPD

Scope of Services: Ground Floor Redesign

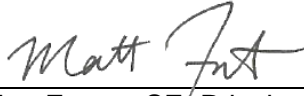
Fee For Extra Services: \$30,000

Billing Type: Fixed

Potential first floor design changes have been proposed for this project in the document dated March 20, 2023 from KFPD. Two different options were presented, labeled Exhibit B and Exhibit C. Both options propose changes that affect the south half of the ground floor of the building and include the relocation of several interior structural walls. Relocation of these structural walls will require redesign of the vertical and lateral systems, as well as the foundation system. Some of the foundations in this area are currently under construction, therefore partial demolition of installed foundations may be required, along with installation of new foundation elements (grade beams, footings, and drilled piers) in order to accommodate the required changes. Depending on the option that is chosen, the redesign of the lateral system may require concrete shear walls due to the decreased length of wall. Re-support of the second-floor framing will also be required where bearing lines have been relocated. The redesign will also require additional site visits, submittal reviews, and response to RFIs, an extended construction duration, and response to plan check comments.

AUTHORIZATION (two signatures required):

ZFA STRUCTURAL ENGINEERS

By:  Date: 4/07/2023
Matt Frantz, SE, Principal

CLIENT REQUESTING EXTRA SERVICES

By: _____ Date: _____
Print Name: _____



Board of Directors
Julie Stein (President)
Daniel Levine (Vice-President)
Larry Nagel (Secretary)
Don Dommer
Jim Watt

March 20, 2023

Ms. Karen Mar
MARJANG Architecture
930 Cole Street, Suite 101
San Francisco, CA 94117
karen@marjang.com

Subject: Kensington Fire Protection District (KFPD) Public Safety Building - Proposal for Cost Estimate of Potential First Floor Design Changes

Dear Karen:

The KFPD Board of Directors met last week and requested that staff seek a cost proposal from Marjang Architecture for designs on several potential first floor revisions. These costs would be brought back to the Board for their review and decision on whether to proceed at a future meeting. As you know, there have been discussions of potential joint occupancy by KFPD and KPPCSD; however, there has not been any decision made related to occupancy at this time. The Board has requested the cost estimates for these potential changes within the currently planned fire occupancy.

The potential changes are included on Exhibit B and C (Attachment 1) for:

- realignment of the first-floor restroom; and
- inclusion of a kitchenette in the meeting room.

Following the meeting, I provided the Board with an update on our understanding of the shear walls related to this potential restroom realignment and that they could not be moved (Attachment 2). Please confirm that our understanding is correct. The potential for a kitchenette appears to be possible given the cabinets and ability to connect with plumbing on the current plans. Exhibit C displays a larger kitchenette, so I am not clear on whether that is possible.

Please let me know if you have any questions and the potential timeline for receipt of design cost estimates.

Sincerely,

Mary A. Morris-Mayorga, MBA, CSDM
Interim General Manager
mmayorga@kensingtonfire.org

REVISIONS TO FIRST FLOOR PSB LAYOUT

The following explains the current plans and possible alternative arrangements to the first and second floor layout of the Public Safety Building.

Exhibit A shows the proposed layout of the first floor excluding the apparatus bay. This area totals approximately 1,500 sq. ft. and includes a 410 sq. ft. meeting room to accommodate 17 people, 380 sq. ft. of administrative space for 3 or more staff and 80 sq. ft. of storage area. The remaining 630 sq. ft. includes hallway, stairwell, elevator and restroom. No drinking fountain or kitchenette is provided.

Exhibit B shows the relocation of the restroom to the west side of the elevator providing a hallway entrance and thus better restroom access for firefighters and visitors. This change also expands the meeting room area. Also included is a kitchenette for water and snack items. These changes will require modifications to existing plumbing and some ceiling lighting.

Exhibit C shows an alternative plan for the first floor that would convert approximately 1,015 sq. ft. (outlined in blue) of space for police use in addition to about 185 sq. ft. of shared entry, passageway and restroom space for both firefighters, police officers and guests. This would provide the police with 1,200 sq. ft. of useable first floor space. The corridor, stairwell and elevator (outlined in red) total about 300 sq. ft. and are for firefighter use only.

EXHIBIT B

REVISED FIRST FLOOR AREA

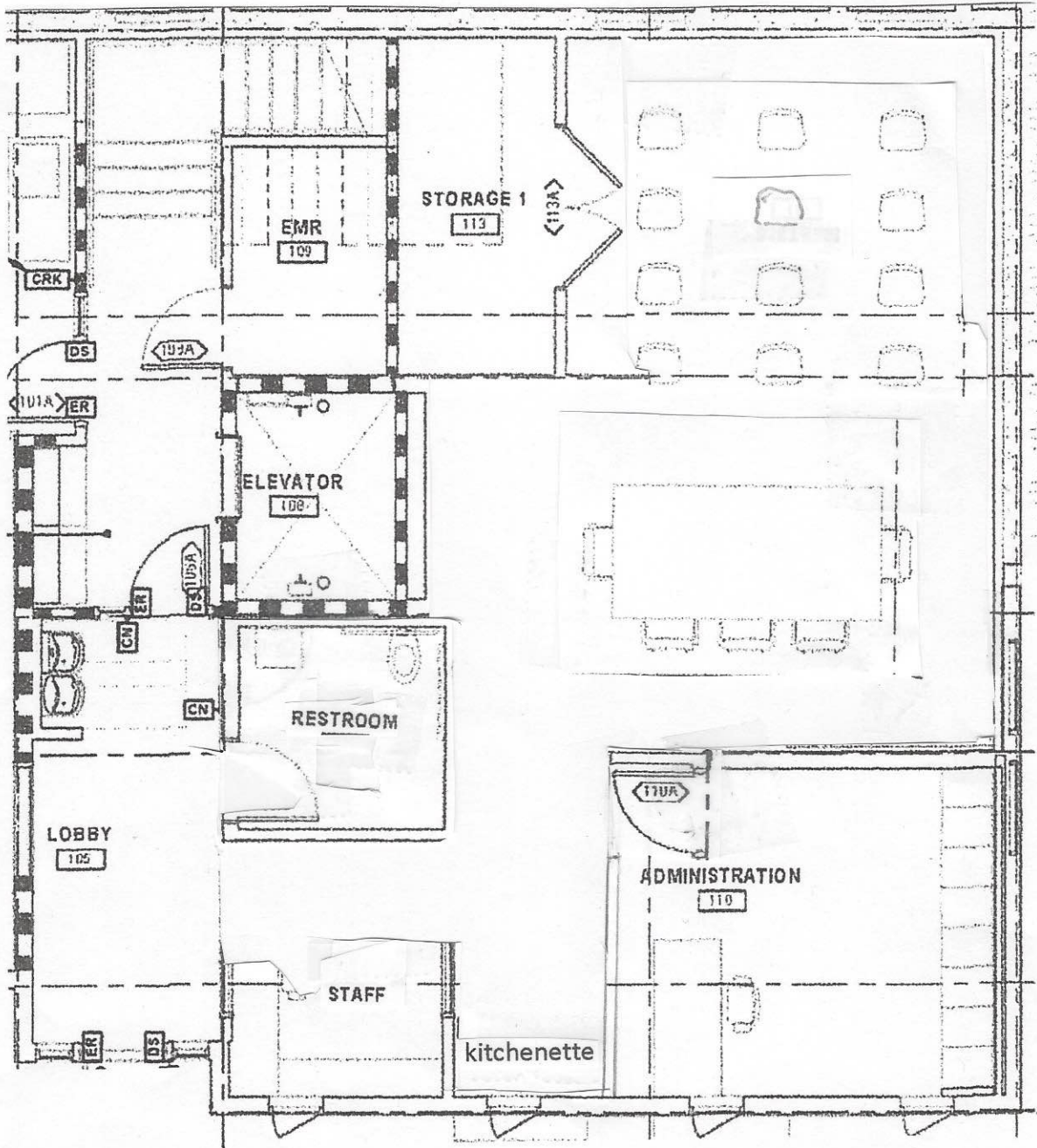
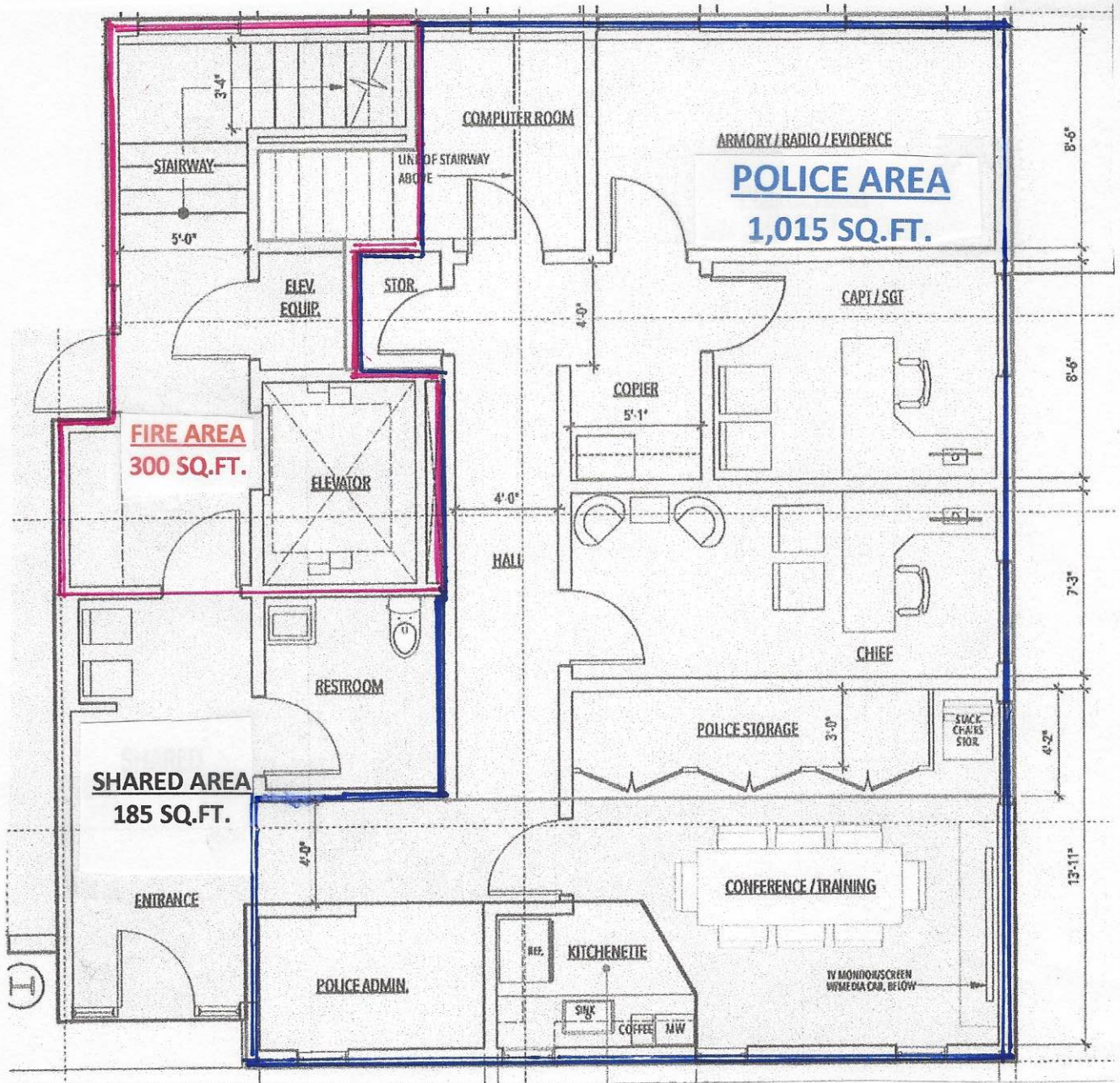


EXHIBIT C

POLICE USE OF FIRST FLOOR AREA





Mary Morris-Mayorga <mmayorga@kensingtonfire.org>

KFPD Board Action to Request Proposal - Additional Information

Mary Morris-Mayorga <mmayorga@kensingtonfire.org>

Fri, Mar 17, 2023 at 10:04 AM

To: Mary Morris-Mayorga <mmayorga@kensingtonfire.org>

Bcc: Julie Stein <jstein@kensingtonfire.org>, Don Dommer <ddommer@kensingtonfire.org>, Daniel Levine <dlevine@kensingtonfire.org>, Jim Watt <jwatt@kensingtonfire.org>, Larry Nagel <lnagel@kensingtonfire.org>, John Bakker <jbakker@meyersnave.com>, Eric Saylor <ESaylor@ci.el-cerrito.ca.us>, Johnny Valenzuela <jvalenzuela@kensingtonfire.org>

Good morning to all Directors, staff, and legal counsel (Bcc'd to avert discussion outside of public meetings in accordance with Brown Act):

I have received clarification information from the project team related to the PSB action this week, so wanted to forward it as an informational update.

Sheet S201 - This is the structural drawing that shows the two shear walls at the bathroom as well as the shear wall between the admin office and the meeting room. Also, indicated are the foundation beams and the piers that are already excavated and/or poured. The shear walls are on top of that new foundation and hold up the second floor shear walls above, so they cannot be moved.

Sheet A012 - This is a page near the beginning of the set for the interior signage, but it also shows a sink at the meeting room cabinets. One of the public comments at the meeting about the sink was probably based on this drawing, but in the later drawings (see below) it was removed. It may have been that staff did indicate they needed it given the drinking fountains and the bathroom sink. There are already outlets at the cabinet so it was assumed that a coffee maker was sufficient; however, a sink can be added back. The base cabinets can be adapted to fit an undercounter fridge (no special power requirements for that). These cabinets are planned to hold media equipment to serve the room and there is an A/V plan that has already been designed for that purpose (whether for public meetings or for use as a EOC based on input from the fire staff).

Sheet A202 - This is the architectural plan that shows the shear walls, the cabinet with the added sink note, and the drinking fountains in the lobby with an image included of the unit that is specified for the fountains. Please note that this drawing also shows the doors that create a secure lobby. There will be programmable locks at the door going to the elevator lobby, so only firefighters have access, and at the door to the office hallway for admin staff. The door to the office hallway can be opened for public meetings which is also why the restroom is located off of that hallway and not directly accessible from the entry lobby, where it would be accessible to anyone who walks in the front door. The admin office is secured to protect the financial and personnel records. There are minimum clearances required in all of these areas for ADA access, so those also dictated the layout. Note that the "EMR" room next to the stair is the Elevator Machine Room and cannot be reduced in size as it must fit the required elevator equipment per the engineer's specifications. Finally, the "Storage 1" closet off of the Meeting Room only has a four foot high ceiling in the area that is dashed, because it is underneath the stair landing. It is mostly for chair and table storage that can be stacked in that low headroom.

Sheet P202 - This is the plumbing plan for the ground level. It shows that there is a 4" waste line planned to service the bathrooms above. Fortunately, it would be relatively easy to tie in a new sink at the meeting room cabinet to that line.

This information will be included when the proposal from the architect is brought back to the Board at the next meeting. Thank you,

Mary A. Morris-Mayorga, MBA, CSDM
Interim General Manager
[Kensington Fire Protection District](#)
217 Arlington Avenue
Kensington CA 94707

 **20220401 KFPD PSB Design Notes.pdf**
4061K

MARK	B	H	REF' W'	REIN' W'	REMARKS
CF24	24"	24"	(4) #5 T&B		TYP UNO
CF24A	24"	52"	(3) #5 T&B		
CF30	30"	30"	(5) #6 T&B		(3) STIRRUPS AT 12" OC

MARK	B	H	LONGITUDINAL REINFORCEMENT				STIRRUPS AND TIES				REMARKS
			BOTTOM		TOP		SPACING		LENGTH L1		
			TYP	ADD	TYP	ADD	S3	S4		SIZE	
GB24	24"	24"	(3) #5	-	(3) #5	-	-	12"	12"	4"	130' HK ES
GB24A	24"	30"	(4) #7	-	(4) #7	-	-	6"	12"	8"	
GB30	30"	30"	(5) #6	-	(5) #6	-	-	6"	12"	4"	130' HK ES
GB24B	24"	24"	(3) #5	-	(3) #5	-	-	6"	12"	4"	130' HK ES

FOUNDATION PLAN NOTES:

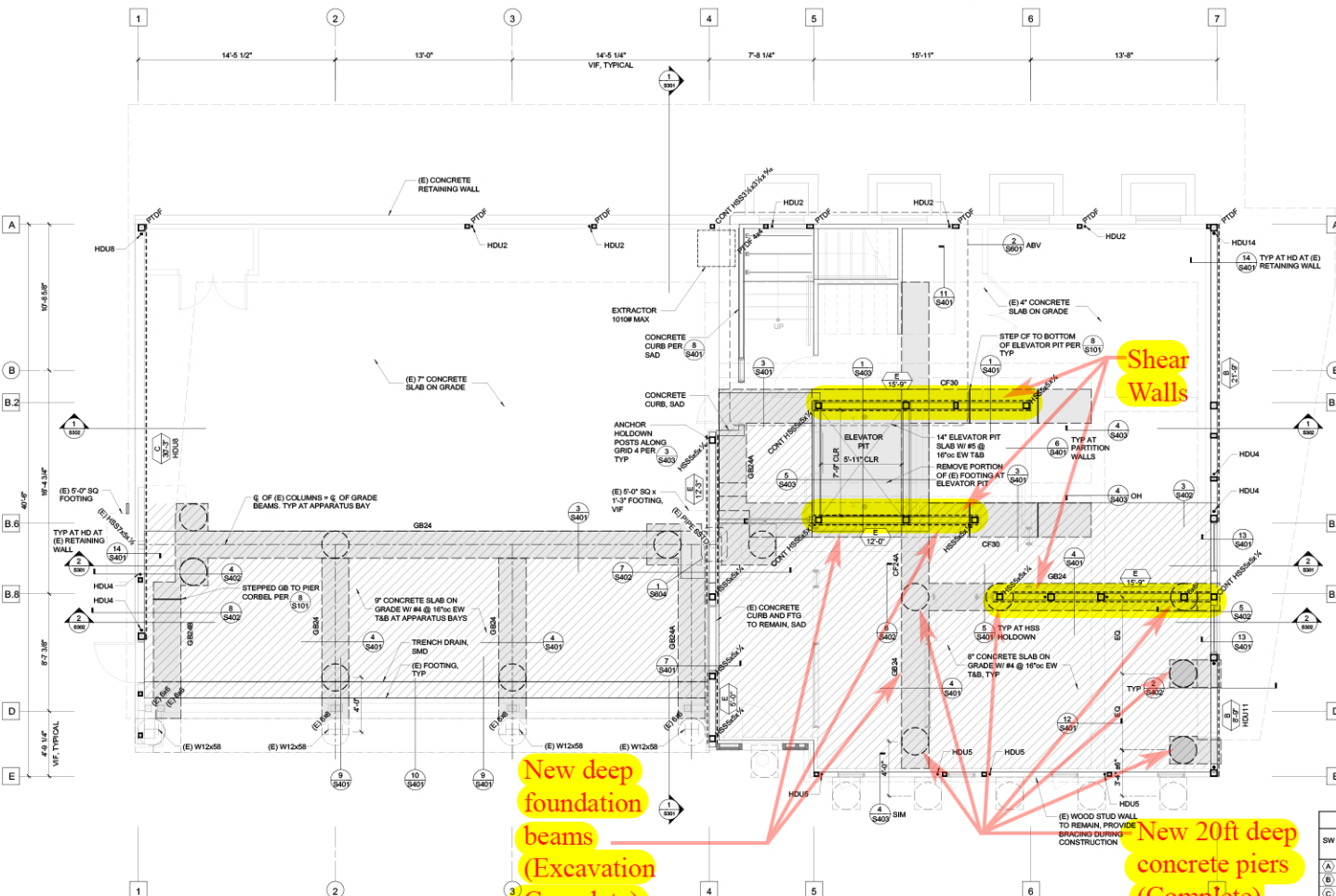
- REFER TO SHEETS S001, S101, S102, S103, S104 AND S105 FOR GENERAL NOTES AND TYPICAL DETAILS. THE FOLLOWING DETAIL REFERENCES ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. ALL GENERAL NOTES AND TYPICAL DETAIL SHEETS NOTED ABOVE ARE APPLICABLE AND SHALL BE FOLLOWED.
- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. COORDINATE ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES.
- SEE DETAILS FOR CURB LOCATIONS. COORDINATE WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES. PROVIDE LONGER ANCHOR BOLTS AT CURBS PER CODE.
- ALL EXTERIOR WALLS NOT DESIGNATED AS SHEAR WALLS ON PLANS (INCLUDING WALLS ADJACENT TO SEISMIC GAPS) SHALL BE SHEATHED AS SHEAR WALL TYPE 'A' PER SHEAR WALL SCHEDULE, UNO.
- PLUMBING AND ELECTRICAL CONDUIT AND GROUND STRAP SHALL NOT BE LAID WITHIN FOUNDATIONS. NO UTILITY PIPES OR CONDUITS SHALL BE LOCATED THROUGH COLUMN FOOTINGS OR FRAME FOOTINGS. NO PIPES OR CONDUITS THROUGH SLAB FLATES SHALL BE WITHIN 12" OF HOLD-DOWN BOLTS. NO MECHANICAL, ELECTRICAL, OR PLUMBING OPENINGS SHALL BE LOCATED IN SHEAR WALLS UNLESS SHOWN AND DETAILED ON THE STRUCTURAL DRAWINGS. NO VERTICAL OR HORIZONTAL PIPES OR CONDUITS SHALL BE LOCATED THROUGH STEEL FRAMES, STEEL COLUMNS, OR STEEL BASE PLATES. PROVIDE FLURRING AND/OR THICKENED CONCRETE WHERE REQUIRED TO CLEAR UTILITY SYSTEMS. NOTIFY STRUCTURAL ENGINEER/ARCHITECT PRIOR TO ANY INSTALLATION NOT CONFORMING TO THESE DETAILS.

- PIPES THROUGH FOOTINGS SHALL BE PER 203101 AND 303101.
 PIPES PARALLEL TO FOOTINGS SHALL BE PER 503101.
 PIPES AT SLAB ON GRADE SHALL BE PER 732101.
 PIPES THROUGH WOOD FRAMING SHALL BE PER 203103 AND 503104.
 ELEVATION OF THE TOP OF FINISHED SLAB = 0'-0", UNLESS NOTED OTHERWISE.
 TYPICAL STRUCTURAL WALL BLOCCING FOR ALL GRAB BAR, HANDRAIL, SHOWER SEAT AND OTHER ARCHITECTURAL (A), MECHANICAL (M), ELECTRICAL (E), PLUMBING (P) ATTACHMENTS SHALL BE 4x MINIMUM x WALL WIDTH STUD BOLTS WITH ASA TOP AND BOTTOM, EACH END TYPICAL.

SYMBOL	REFERENCE DETAIL	DESCRIPTION
[Line]	1/3103	INDICATES STRUCTURAL WALL.
[Line]	7/3103	INDICATES SHEAR WALL TYPE AND MINIMUM WALL LENGTH. SYMBOL LOCATION INDICATES SHEATHED FACE OF WALL UNLESS NOTED OTHERWISE.
[Line]	9/3002	
[Line]	9/3001	INDICATES WOOD POST.
[Line]	8/3103	INDICATES POST WITH HOLD-DOWN. POSTS WITH HOLD-DOWN ARE FULL HEIGHT FROM SILL TO TOP PLATE.
[Line]	9/3104	INDICATES STEEL COLUMN.
[Line]		INDICATES FOUNDATION.
[Line]	CF24	INDICATES CONTINUOUS FOOTING SIZE AND REINFORCING PER SCHEDULE.
[Line]	GB24	INDICATES GRADE BEAM SIZE AND REINFORCING PER SCHEDULE.
[Line]	[Line]	INDICATES STEP IN ELEVATION. SEE ARCHITECTURAL DRAWINGS.
[Line]	[Line]	INDICATES GRIDLINE AT FACE OF STUD.
[Line]	[Line]	INDICATES GRIDLINE AT CENTERLINE OF COLUMN.
[Line]	[Line]	INDICATES ELEVATION.
[Line]		INDICATES EXISTING FOUNDATION.
[Line]		INDICATES EXISTING FRAMING.
[Hatched]		HATCHED REGION INDICATES NEW SLAB ON GRADE.
[Circle]	1/3402	INDICATES 24"x8" x 1/2" MIN DRILLED CONCRETE PIER.
[Circle]		INDICATES EXISTING CONCRETE PIER TO REMAIN.

SW	APA RATED SHEATHING	NAILING (PEN)	ANCHORAGE				REMARKS
			1/2" MIN	3/4" MIN	1" MIN	1 1/4" MIN	
(A)	1/2" (32/16) EXP 1	10d @ 8" OC	32" OC	48" OC	6" OC	24" OC	16" OC
(B)	1/2" (32/16) EXP 1	10d @ 4" OC	24" OC	32" OC	4" OC	16" OC	10" OC
(C)	1/2" (32/16) EXP 1	10d @ 3" OC	16" OC	24" OC	3" OC	8" OC	8" OC
(D)	1/2" (32/16) STRUC 1	10d @ 2" OC	16" OC	16" OC	8" OC	8" OC	8" OC
(E)	1/2" (32/16) STRUC 1 BOTH SIDES	10d @ 2" OC	-	12" OC	8" OC	8" OC	8" OC

*2x SILL: SDR1/4x1/4"; 3x SILL: SDR1/2x1/2". FOR SDS @ 6" OC OR LESS, PROVIDE 4x BKU BLU.



NOTE: CONTRACTOR TO SHORE EXISTING STRUCTURE ABOVE PRIOR TO UNDERPINNING OF EXISTING FOUNDATIONS. INSTALL NEW FOUNDATIONS ON EACH SIDE OF THE EXISTING FOOTINGS IN SEPARATE SEQUENCES TO AVOID SETTLEMENT OF EXISTING FOUNDATIONS. CONTRACTOR TO SUBMIT SEQUENCING PLAN TO SEOR FOR REVIEW PRIOR TO ANY EXCAVATIONS.

ZFA STRUCTURAL ENGINEERS
 1390 el camino real | suite 100 zfa.com
 san carlos ca 94070 650.394.8869
 zfa job no. 21479 copyright © 2022



PROJECT ADDRESS
217 ARLINGTON AVE.
KENSINGTON, CA 94707

PROJECT TEAM
 CLIENT: KENSINGTON FIRE PROTECTION DISTRICT
 217 ARLINGTON AVE.
 KENSINGTON, CA 94707
 CONTACT: BILL HANSELL
 T: (415) 378-9084

ARCHITECT: MARJUNG ARCHITECTURE
 530 COLE STREET STE 101
 SAN FRANCISCO, CA 94117
 CONTACT: KAREN MAR
 T: (415) 522-9000

STRUCTURAL: ZFA STRUCTURAL ENGINEERS
 1390 EL CAMINO REAL, STE 100
 SAN CARLOS, CA 94070
 CONTACT: MATT PRANTZ
 T: (650) 394-8869

CIVIL: S&F ENGINEERS
 1546 N. CALIFORNIA BLVD STE 400
 WALNUT CREEK, CA 94596
 CONTACT: ERIC SWANSON
 T: (925) 945-2200

GEOTECH: HALEY ALDRICH
 1156 WEBSTER ST #300
 OAKLAND, CA 94612
 CONTACT: CATHERINE COLLIS
 T: (916) 878-4544

MEP: LIST ENGINEERING CO.
 2 HARRIS CT STE A7
 MONTEREY, CA 95040
 CONTACT: RON BLUE
 T: (814) 373-4350

AUDIOVISUAL: SMITH FAUZE McDONALD INC.
 851 8TH STREET
 SAN FRANCISCO, CA 94103
 CONTACT: PETER McDONALD
 T: (415) 255-1140

ESTIMATOR: MICROESTIMATION INC.
 850 S. VAN NESS AVE. #25
 SAN FRANCISCO, CA 94110
 CONTACT: HENRY TOORYANI
 T: (415) 505-9026

NO.	DESCRIPTION	DATE
1	PRELIMINARY SCHEMATIC PRICING SET	9/27/2021
3	50% DESIGN DEVELOPMENT	11/19/2021
4	100% DESIGN DEVELOPMENT	12/17/2021
5	PERMIT SUBMITTAL	4/01/2022

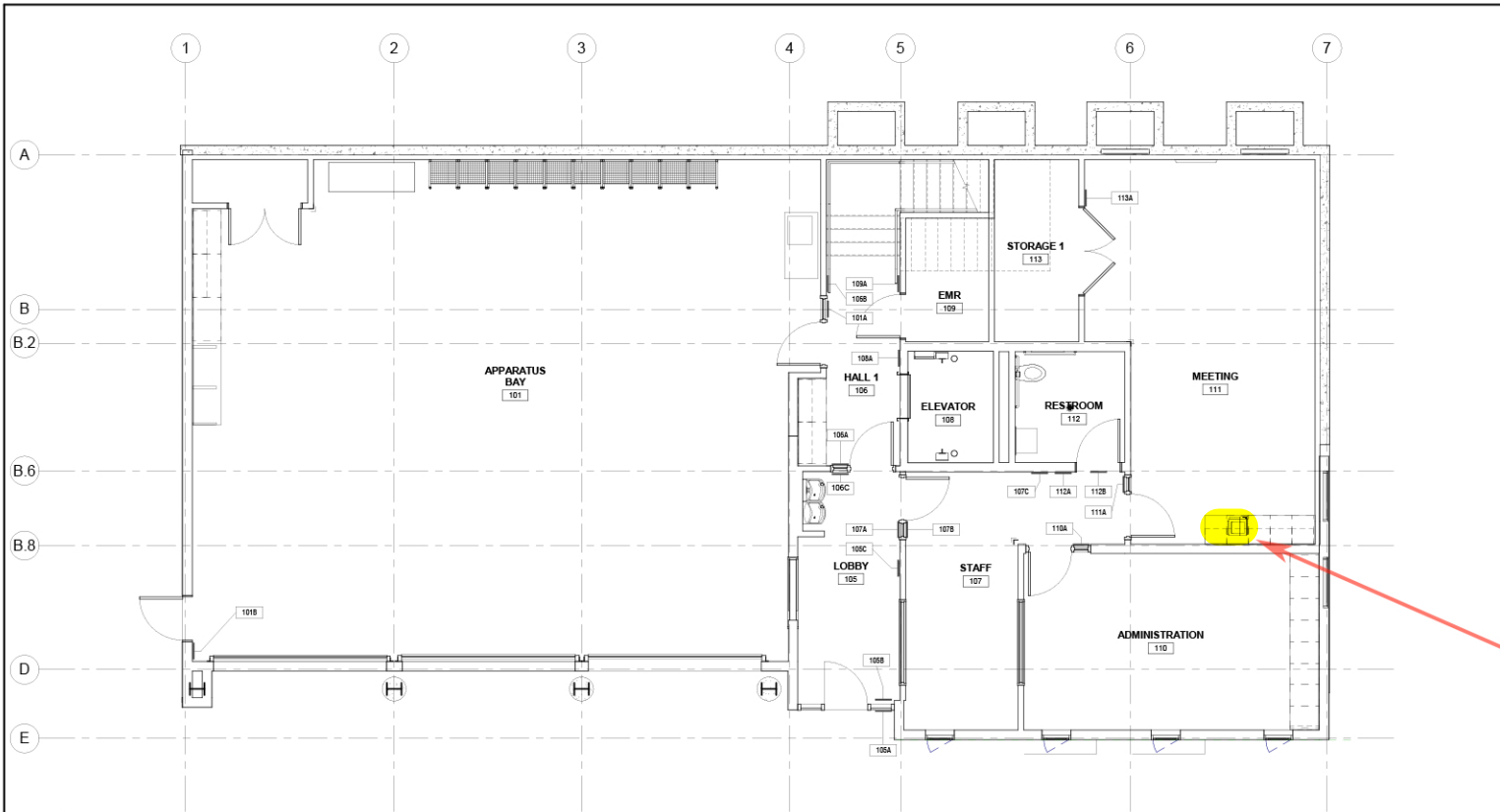
JOB NO. 21479 KENSINGTON FIRE PROTECTION DISTRICT PUBLIC SAFETY BUILDING

DESCRIPTION
FOUNDATION PLAN

PERMIT DRAWINGS - NOT FOR CONSTRUCTION

S201

FOUNDATION PLAN
 1/4" = 1'-0"



- SHEET NOTES**
- SEE GENERAL NOTES, PROJECT DATA, SYMBOL LEGEND AND ABBREVIATIONS ON SHEET A011.
 - FOR SIGNAGE DETAILS, SYMBOLS, AND MOUNTING HEIGHTS, SEE SHEETS A011, A015.
 - VERIFY EXACT SIGNAGE LOCATIONS AND MOUNTING HEIGHTS PRIOR TO INSTALLATION.
 - WHERE SIGNAGE IS MOUNTED ON EXTERIOR FACADE, PROVIDE BACKING PLATE AND SEALANT WITH BACKING ROD, TYPICAL INCLUDING WEEP HOLE AT BOTTOM.
 - WHERE SIGNAGE IS MOUNTED ON GLASS, PROVIDE MATCHING BLANK PLATE ON OPPOSITE SIDE, ALIGNED WITH SIGN.
 - ALL SIGNS ARE CONTRACTOR PROVIDED AND INSTALLED, U.O.N.
 - SEE CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL SITE SIGNAGE.
 - CONFIRM FINAL LOCATIONS OF ALL CITY REQUIRED SIGNAGE WITH CLIENT AND ARCHITECT PRIOR TO MOUNTING.
 - WHERE SIGNS ARE LOCATED ON THE SITE, PROVIDE 2" GALV PIPE POLE SET IN CONCRETE BASE AT HEIGHT INDICATED PER CIVIL DRAWING DETAILS.

MARJANG ARCHITECTURE

PROJECT ADDRESS
 217 ARLINGTON AVE.
 KENSINGTON, CA 94707

PROJECT TEAM

CLIENT: KENSINGTON FIRE PROTECTION DISTRICT
 217 ARLINGTON AVE.
 KENSINGTON, CA 94707
 CONTACT: BILL HANSELL
 T: (415) 378-9084

ARCHITECT: MARJANG ARCHITECTURE
 530 COLE STREET STE 101
 SAN FRANCISCO, CA 94117
 CONTACT: KAREN MAR
 T: (415) 522-9500

STRUCTURAL: ZPA STRUCTURAL ENGINEERS
 1390 EL CAMINO REAL STE 100
 SAN CARLOS, CA 94070
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CIVIL: S&F ENGINEERS
 1546 N. CALIFORNIA BLVD STE 400
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GEOTECH: HALEY ALDRICH
 1156 WEBSTER ST #300
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 CONTACT: CATHERINE ELLIS
 T: (916) 678-4644

MEP: LIST ENGINEERING CO.
 2 HARRIS CT STE A7
 MONTEREY, CA 95040
 CONTACT: RON BLUE
 T: (831) 373-4390

AUDIO/VISUAL: SMITH FAUZE MCDONALD INC.
 81 5TH STREET
 SAN FRANCISCO, CA 94103
 CONTACT: PETER MCDONALD
 T: (415) 255-9140

ESTIMATOR: MICROESTIMATION INC.
 450 S. VAN NESS AVE. #25
 SAN FRANCISCO, CA 94110
 CONTACT: HENRY TOORYANI
 T: (415) 526-9626

**Signage Plan
 shows sink
 in cabinets**

1 SIGNAGE PLAN - 1ST LEVEL PLAN
 SCALE: 1/4" = 1'-0"

SIGNAGE SCHEDULE - 1ST LEVEL						
SIGN ID	ROOM LOCATION	SIGN TYPE	LANGUAGE	DETAIL REFERENCE	MOUNTING LOCATION	BRAILLE AND TACTILE
101A	APPARATUS BAY	ROOM ID	101 APPARATUS BAY	1/A014	GLASS MOUNT	YES
101B	APPARATUS BAY	DIRECTIONAL	EXIT	2/A014	WALL MOUNT	YES
105A	LOBBY ENTRANCE	ISA	ISA	6/A015	EXTERIOR GLASS MOUNT	NO
105B	LOBBY	DIRECTIONAL	EXIT	2/A014	GLASS MOUNT	YES
105C	LOBBY	FIRE EXTINGUISHER FLAG	SEE DETAIL	1/A015	WALL MOUNT	NO
105A	HALL 1	DIRECTIONAL	EXIT ROUTE	2/A014	GLASS MOUNT	YES
106B	HALL 1	STAIR LEVEL IDENTIFICATION	"1"	6/A015	WALL MOUNT	YES
106C	HALL 1	RESTROOM ID	106 HALL 1	1/A014	GLASS MOUNT	YES
107A	STAFF	ROOM ID	107 STAFF	1/A014	GLASS MOUNT	YES
107B	STAFF	DIRECTIONAL	EXIT ROUTE	2/A014	GLASS MOUNT	YES
107C	STAFF	EMERGENCY EVACUATION NOTICE	EXIT MAP, EVACUATION INSTRUCTIONS PER DETAIL	1/A015	WALL MOUNT	NO
109A	ELEVATOR	IN CASE OF FIRE	SEE DETAIL	5/A015	WALL MOUNT	NO
109A	ELEVATOR MACHINE ROOM	ROOM ID	109 ELEVATOR MACHINE ROOM	1/A014	WALL MOUNT	YES
110A	ADMINISTRATION	ROOM ID	110 ADMINISTRATION	1/A014	GLASS MOUNT	YES
111A	MEETING ROOM	ROOM ID	111 MEETING ROOM	1/A014	GLASS MOUNT	YES
112A	RESTROOM	RESTROOM ID	ALL GENDER RESTROOM	5/A014	WALL MOUNT	YES
112B	RESTROOM	RESTROOM SYMBOL	ALL GENDER SYMBOL	6/A014	DOOR MOUNT	NO
113A	STORAGE 1	ROOM ID	113 STORAGE 1	1/A014	WALL MOUNT	YES

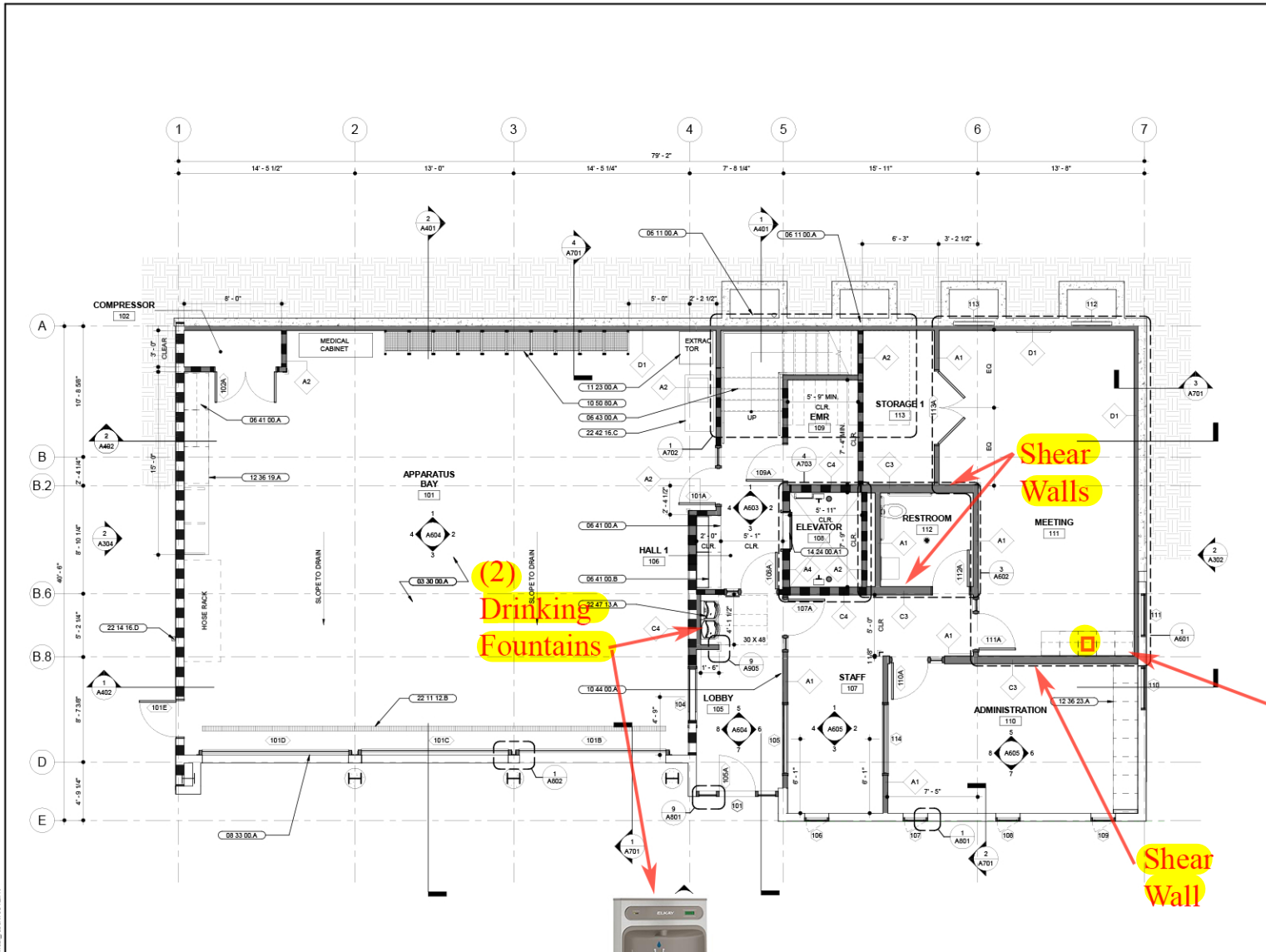
NO.	DESCRIPTION	DATE
4	100% DESIGN DEVELOPMENT ISSUED FOR BUILDING PERMIT	12/17/2021 04/01/2022

JOB NO.
 2106 KENSINGTON FIRE PROTECTION DISTRICT PUBLIC SAFETY BUILDING

DESCRIPTION
 GROUND FLOOR SIGNAGE PLAN

A012

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1 PROPOSED 1ST LEVEL PLAN
SCALE: 1/4" = 1'-0"



- SHEET NOTES**
- DIMENSIONS ARE TAKEN FROM GRIDLINE TO FACE OF STUD. DIMENSIONS NOTED WITH CLR. ARE FROM FACE OF FINISH TO FACE OF FINISH.
 - FURNITURE, FIXTURES, AND EQUIPMENT SHOWN FOR REFERENCE. SEE FINE PLAN AND SPECIFICATIONS.
 - SEE RCP ON SHEET A205 AND A206.
 - SEE ROOF PLAN ON SHEET A206.
 - SEE WALL TYPES ON SHEET A301.
 - FOR EXTERIOR WALL ASSEMBLIES/TYPES, SEE DETAIL CALLOUTS ON EXTERIOR ELEVATIONS.
 - PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND WALL MOUNTED ASSEMBLIES INCLUDING BATHROOM FIXTURES. SEE DETAIL A302.
 - PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED CBC HEIGHT LIMITATIONS.
 - ALL WALL FRAMING TO EXTEND TO BOTTOM OF FLOOR FRAMING OR ROOF FRAMING, U.O.A.

KEYNOTE

- 03 30 00.A CONCRETE APP BAY FLOOR. SLOPE TO DRAINS. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION.
- 06 11 00.A INFILL (E) WINDOW OPENING AT INDICATED LIGHT WELL.
- 06 41 00.A BASE CABINETS, DOORS, DRAWERS, AND ADJUSTABLE SHELVES.
- 06 41 00.B UPPER CABINETS, DOORS, AND ADJUSTABLE SHELVES.
- 06 43 00.A (N) WOOD FRAMED STAIR.
- 06 43 00.B (N) OVERHEAD COILING DOOR WITH MOTOR AND CONTROLLER.
- 10 44 00.A FIRE EXTINGUISHER CABINET.
- 10 50 00.A TURNOUT GEAR LOCKERS.
- 11 23 00.A COMMERCIAL EXTRACTOR.
- 12 36 19.A BUTCHER BLOCK COUNTERTOPS.
- 12 36 23.A PLASTIC LAMINATE COUNTERTOPS.
- 14 24 00.A1 HYDRAULIC ELEVATOR.
- 22 11 12.B TRENCH DRAIN. SEE PLUMBING DRAWINGS.
- 22 14 16.D (N) RAINWATER LEADER AT EXTERIOR. SEE PLUMBING DRAWINGS.
- 22 42 16.C DECON SERVICE SINK WITH INTERGRAL WORKTABLE. SEE PLUMBING DRAWINGS.
- 22 47 13.A HI-LO DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.

WALL LEGEND

- EXISTING WALL TO REMAIN
- - - - EXISTING WALL TO BE DEMOLISHED
- PROPOSED WALL
- ▬ 1-HR RATED WALL
- ▬ 1/2-HR RATED WALL
- - - - FLOOR AREA TO BE REMOVED

NO.	DESCRIPTION	DATE
1	PRELIMINARY SCHEMATIC PRICING SET	09/27/2021
2	PLANNING SUBMITTAL	11/01/2021
3	50% DESIGN DEVELOPMENT	11/19/2021
4	100% DESIGN DEVELOPMENT	12/17/2021
5	PLANNING SUBMITTAL #1	01/06/2022
7	ISSUED FOR BUILDING PERMIT	04/01/2022

JOB NO. 2106
KENSINGTON FIRE PROTECTION DISTRICT
PUBLIC SAFETY BUILDING

DESCRIPTION
PROPOSED 1ST LEVEL PLAN

MARJANG ARCHITECTURE

STAMP

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KENSINGTON, CA 94707**

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A202

3/31/2022 4:57:47 PM

SHEET NOTES

- 1. REMOVE (E) FD COMPLETE.
- 2. REMOVE (E) FIXTURES AND PIPING COMPLETE ABOVE FLOOR.
- 3. PROVIDE (N) WCO.
- 4. PROVIDE SPLASH BLOCK.
- 5. PROVIDE CONDENSATE DRAIN, CONTRACTOR TO COORDINATE PIPE ROUTING WITH THE ARCHITECT. INSTALL CO PER MANUFACTURER'S INSTALLATION REQUIREMENTS.
- 6. NOT USED.
- 7. TERMINATE 1" CD TO AREA DRAIN AND PROVIDE AIR GAP. END PIPE AT HIGHEST POINT POSSIBLE.
- 8. CLEAN UP WELL. EXAMINE CONDITION OF (E) AREA DRAIN. REFURBISH IF NECESSARY. PROVIDE WATER DETECTION ALARM AT 1' ABOVE AREA DRAIN.
- 9. PROVIDE DRAIN PAN AND CONNECT 3/4" CD TO MAIN AND PROVIDE WATER DETECTION ALARM THAT SHUT-OFF UNIT WHEN ACTIVATED.
- 10. PIPING TO GO UNDER STRUCTURAL FOOTING. SEE STRUCTURAL.
- 11. CONNECT EXTRACTOR STANDPIPE WASTE TO (N) 2"W DN ALONG WALL ABOVE GRADE. AVOID TRENCHING INTO (E) STRUCTURAL FOOTING.
- 12. (N) 2"W UP.
- 13. (N) 4"W UP.
- 14. (N) 1-1/2" UP.
- 15. (N) 2" UP.
- 16. CONTRACTOR TO SAWCUT AND REPAIR TO MATCH (E). COORDINATE WITH CIVIL AND ARCHITECT.
- 17. DRAIN 3/4" INDIRECT WASTE TO FS-1 WITH 1" AIR GAP.
- 18. RUN ALL PIPES AT BACK OF ASSEMBLY BAY INSIDE (N) WALL OR INSIDE (E) SOFFIT.
- 19. PROTECT (E) STORM WATER DRAINAGE SYSTEM DURING DEMOLITION. VIF LOCATION OF (E) SYSTEM.

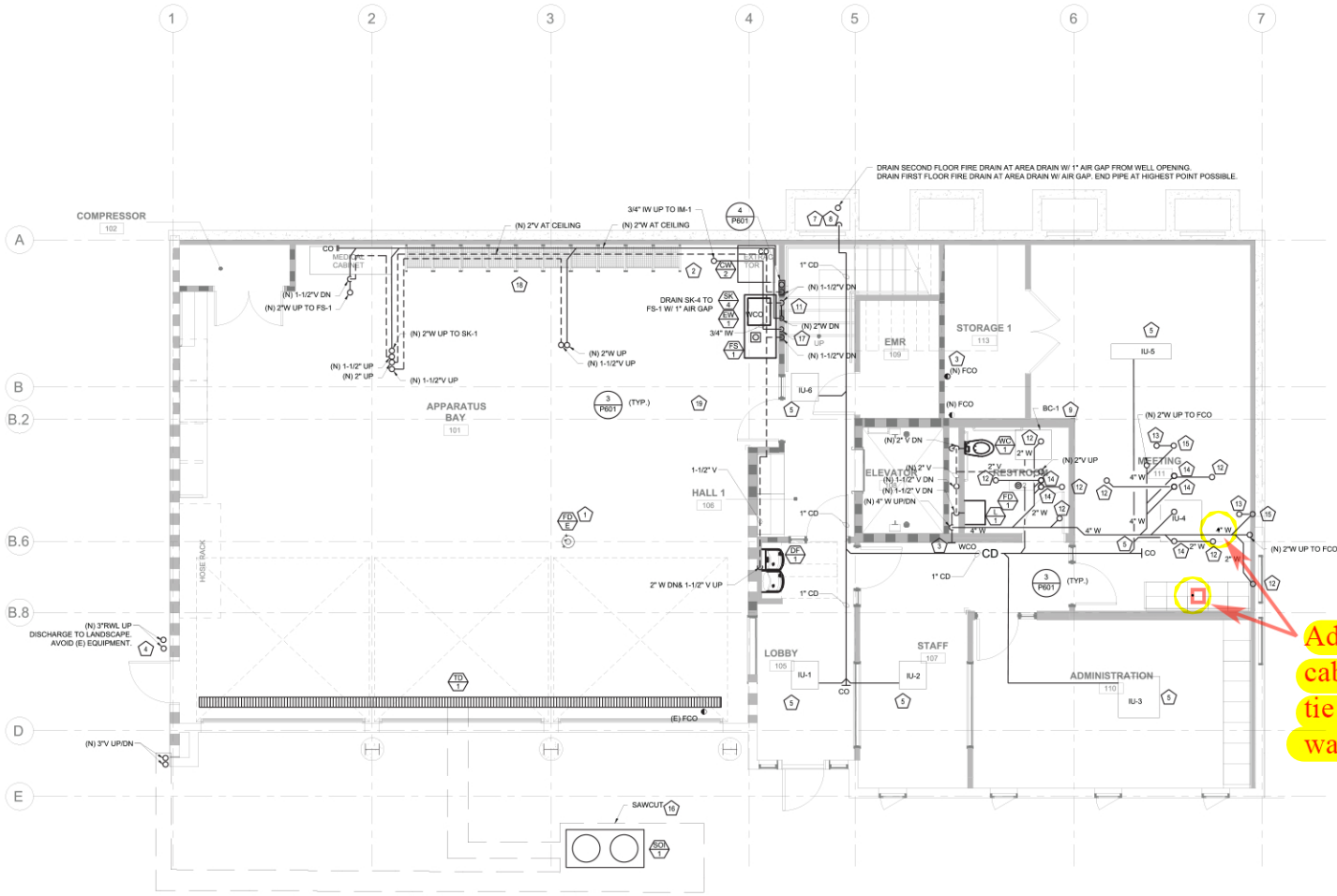
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Telephone (831) 373-4300 Fax (831) 373-6522
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Job No. 21025.00

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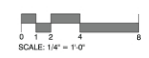
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Add sink at cabinets and tie into 4" waste line.



1 GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

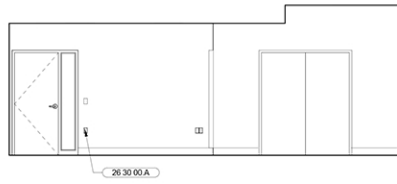


NO.	DESCRIPTION	DATE
ISSUED FOR BUILDING PERMIT		04-01-22

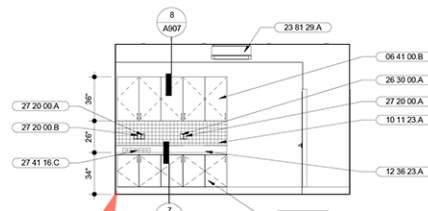
JOB NO.

DESCRIPTION
PLUMBING WASTE, RW & VENT
GROUND FLOOR PLAN

P202

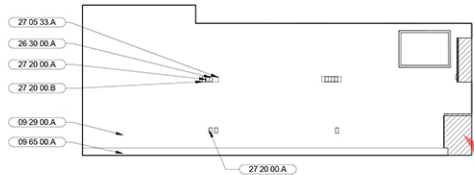


12 MEETING/E.O.C. 111 - NORTH
SCALE: 1/4" = 1'-0"

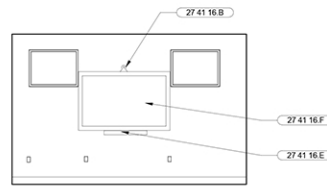


11 MEETING 111 - WEST
SCALE: 1/4" = 1'-0"

Meeting Rm
Cabinets

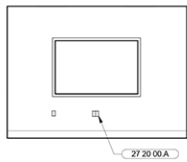


10 MEETING 111 - SOUTH
SCALE: 1/4" = 1'-0"

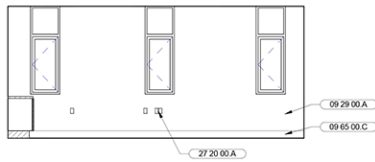


9 MEETING 111 - EAST
SCALE: 1/4" = 1'-0"

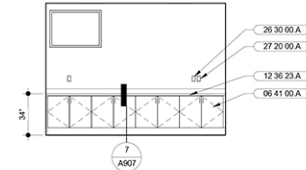
Meeting Rm
Cabinets



8 ADMINISTRATION 110 - NORTH
SCALE: 1/4" = 1'-0"



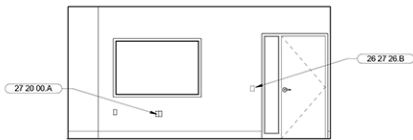
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SCALE: 1/4" = 1'-0"



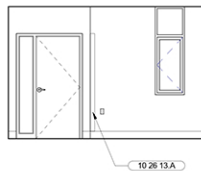
6 ADMINISTRATION 110 - SOUTH
SCALE: 1/4" = 1'-0"



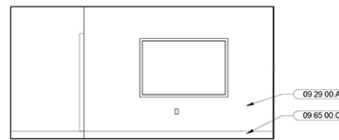
5 ADMINISTRATION 110 - EAST
SCALE: 1/4" = 1'-0"



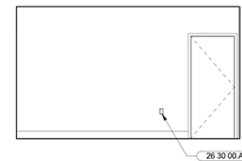
4 STAFF 107 - NORTH
SCALE: 1/4" = 1'-0"



3 STAFF 107 - WEST
SCALE: 1/4" = 1'-0"



2 STAFF 107 - SOUTH
SCALE: 1/4" = 1'-0"



1 STAFF 107 - EAST
SCALE: 1/4" = 1'-0"

SHEET NOTES

1. ALL DIMENSIONS ARE TO FACE OF FINISH FOR REQUIRED CLEARANCES: U.O.D.H.
2. ALL SINKS AND COUNTERS MUST MEET THE ACCESSIBILITY REQUIREMENTS OF THE 2019 CBC CHAPTER 11B AS DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
3. FOR ACCESSIBLE TOILET ACCESSORIES, TOILET MOUNTING, WATER CLOSET CLEARANCES, AND SHOWER CLEARANCES, SEE A012.
4. PROVIDE BACKING AS REQUIRED FOR ALL WALL MOUNTED EQUIPMENT, CABINETS AND ACCESSORIES: SEE BACKING DETAIL 3/A002.
5. REFER TO APPLIANCE SCHEDULE FOR APPLIANCES. SEE A7XX.
6. CONTRACTOR TO VERIFY DIMENSIONS OF APPLIANCES, FIXTURES, AND EQUIPMENT PRIOR TO CASEWORK FABRICATION. TYPICAL.
7. REFER TO FINISH SCHEDULE FOR FINISH MATERIALS. SEE A503.
8. VERIFY TILE LAYOUT AND JOINTS WITH ARCHITECT PRIOR TO INSTALLATION.
9. FFE SHOWN FOR REFERENCE, O/F/C.

KEYNOTES

- 06 41 00 A BASE CABINETS, DOORS, DRAWERS, AND ADJUSTABLE SHELVES
- 06 41 00 B UPPER CABINETS, DOORS, AND ADJUSTABLE SHELVES
- 09 29 00 A GYPSUM BOARD
- 09 65 00 A VINYL COMPOSITION TILE (ANTI-STATIC)
- 09 65 00 C RUBBER BASE, ACCESSORIES AND ATTACHMENTS
- 10 11 23 A TACKBOARDS
- 10 26 13 A STAINLESS STEEL CORNER GUARD
- 12 36 23 A PLASTIC LAMINATE COUNTERTOPS
- 23 81 29 A VRF INDOOR WALL MOUNTED UNIT
- 26 26 26 B SWITCH, SEE ELECTRICAL DRAWINGS
- 26 30 00 A RECEPTACLE, SEE ELECTRICAL DRAWINGS
- 27 05 33 A FLAT PANEL WALL BOX ROUGH-IN CONNECTION, SEE AUDIOVISUAL DRAWINGS
- 27 20 00 A NETWORK DATA/VOICE DEVICE PLATE, SEE COMMUNICATION DRAWINGS
- 27 20 00 B BROADBAND VIDEO DEVICE PLATE, SEE COMMUNICATION DRAWINGS
- 27 41 16 B CONFERENCE CAMERA, SEE AUDIOVISUAL DRAWINGS
- 27 41 16 C AV CONTROL BUTTON PANEL, SEE AUDIOVISUAL DRAWINGS
- 27 41 16 E LOUD SPEAKER SOUNDBAR, SEE AUDIOVISUAL DRAWINGS
- 27 41 16 F FLAT PANEL DISPLAY, SEE AUDIOVISUAL DRAWINGS

MARJANG ARCHITECTURE

STAMP



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NO.	DESCRIPTION	DATE
3	50% DESIGN DEVELOPMENT	11/19/2021
4	100% DESIGN DEVELOPMENT	12/17/2021
7	ISSUED FOR BUILDING PERMIT	04/01/2022

JOB NO. 2106
KENSINGTON FIRE PROTECTION DISTRICT
PUBLIC SAFETY BUILDING

DESCRIPTION
ENLARGED PLAN & INTERIOR ELEVATIONS



A605